

Site Plans

Issued for	Master Plan
Date Issued	April 18, 2025
Latest Issue	May 30, 2025

Coventry Centre Major Land Development

666 Arnold Road
2271 New London Turnpike
Coventry, Rhode Island

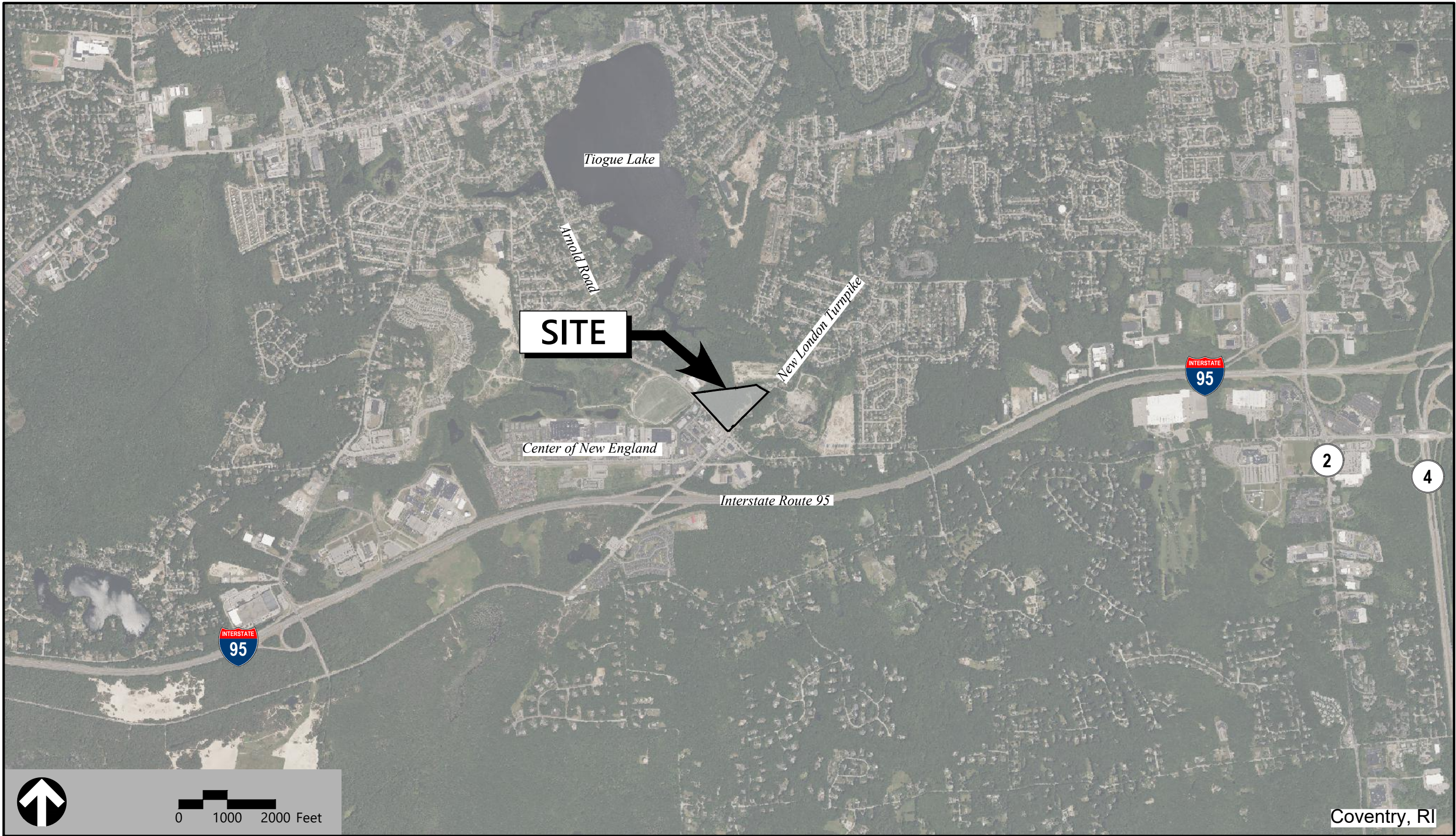
Owners

A.P. 7, Lot 23
Bernard L, Liv T, & Christopher Lefoley
356 Potters Ave.
Warwick, RI 02886

A.P. 7, Lot 24
David T & Christi Olton
2271 New London Turnpike
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Applicant

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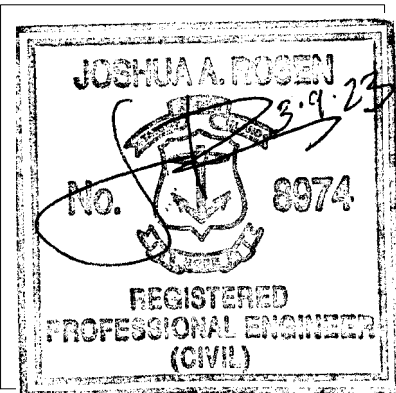
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L1.01-.02	Landscape Plan	May 30, 2025
Sv-1	Property Line and Existing Conditions Plan Assessors Plat 7 Lots 23 & 24	February 10, 2025



1 Cedar Street
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Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			
		BASELINE	27.35 TC x	27.35 TC x	TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 BC x	26.85 BC x	BOTTOM OF CURB ELEVATION
		ZONING LINE	132.75 x	132.75 x	SPOT ELEVATION
		TOWN LINE	45.0 TW x	45.0 TW x	TOP & BOTTOM OF WALL ELEVATION
			38.5 BW	38.5 BW	
		LIMIT OF DISTURBANCE			BORING LOCATION
		WETLAND LINE WITH FLAG			TEST PIT LOCATION
		FLOODPLAIN			MONITORING WELL
		BORDERING LAND SUBJECT TO FLOODING			UNDERDRAIN
		WETLAND BUFFER ZONE			DRAIN
		NO DISTURB ZONE			ROOF DRAIN
		200' RIVERFRONT AREA			SEWER
					FORCE MAIN
					OVERHEAD WIRE
		GRAVEL ROAD			WATER
		EDGE OF PAVEMENT			FIRE PROTECTION
		BITUMINOUS BERM			DOMESTIC WATER
		BITUMINOUS CURB			GAS
		CONCRETE CURB			ELECTRIC
		CURB AND GUTTER			STEAM
		EXTRUDED CONCRETE CURB			TELEPHONE
		MONOLITHIC CONCRETE CURB			FIRE ALARM
		PRECAST CONC. CURB			CABLE TV
		SLOPED GRAN. EDGING			
		VERT. GRAN. CURB			CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
					DOUBLE CATCH BASIN ECCENTRIC
		BUILDING			GUTTER INLET
		BUILDING ENTRANCE			DRAIN MANHOLE CONCENTRIC
		LOADING DOCK			DRAIN MANHOLE ECCENTRIC
		BOLLARD			TRENCH DRAIN
		DUMPSTER PAD			PLUG OR CAP
		SIGN			CLEANOUT
		DOUBLE SIGN			FLARED END SECTION
					HEADWALL
		STEEL GUARDRAIL			SEWER MANHOLE CONCENTRIC
		WOOD GUARDRAIL			SEWER MANHOLE ECCENTRIC
		PATH			CURB STOP & BOX
		TREE LINE			WATER VALVE & BOX
		WIRE FENCE			TAPPING SLEEVE, VALVE & BOX
		FENCE			FIRE DEPARTMENT CONNECTION
		STOCKADE FENCE			FIRE HYDRANT
		STONE WALL			WATER METER
		RETAINING WALL			POST INDICATOR VALVE
		STREAM / POND / WATER COURSE			WATER WELL
		DETENTION BASIN			
		HAY BALES			GAS GATE
		SILT FENCE			GAS METER
		SILT SOCK / STRAW WATTLE			
					ELECTRIC MANHOLE
		MINOR CONTOUR			ELECTRIC METER
		MAJOR CONTOUR			LIGHT POLE
					TELEPHONE MANHOLE
		PARKING COUNT			TRANSFORMER PAD
		COMPACT PARKING STALLS			UTILITY POLE
		DOUBLE YELLOW LINE			GUY POLE
		STOP LINE			GUY WIRE & ANCHOR
		CROSSWALK			HAND HOLE
		ACCESSIBLE CURB RAMP			PULL BOX
		ACCESSIBLE PARKING			
		VAN-ACCESSIBLE PARKING			
Match Line See Sheet C1.01			MATCHLINE		

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EV	ELECTRIC VEHICLE CHARGING SPACE
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

General

1. THERE ARE NO WETLANDS OR WATERCOURSES ON OR WITHIN 200 FEET OF THE PERIMETER OF THE SUBJECT PROPERTIES.
2. THE SUBJECT PROPERTIES ARE NOT WITHIN THE 100-YEAR FLOOD PLAIN AND ARE DESIGNATED AS FEMA ZONE X, AREA OF MINIMAL FLOOD HAZARD.
3. THERE ARE NO EXISTING AGRICULTURAL USES PRESENT ON THE SUBJECT PROPERTIES.
4. BASED UPON THE RIDEM ENVIRONMENTAL RESOURCE MAP, THE SUBJECT PROPERTIES ARE LOCATED WITHIN A NATURAL HERITAGE AREA.
5. THE SUBJECT PROPERTIES ARE NOT LOCATED WITHIN A HISTORIC DISTRICT.
6. THE SUBJECT PROPERTIES ARE NOT LOCATED WITHIN A GROUNDWATER PROTECTION AREA.

Required Permits

1. THE PROJECT WILL DISTURB MORE THAN ONE ACRE OF LAND; THEREFORE, A RIDEM RIPDES PERMIT WILL BE REQUIRED.
2. THE PROJECT REQUIRES MAJOR LAND DEVELOPMENT APPROVAL FROM THE TOWN OF COVENTRY PLANNING BOARD.
3. THE PROJECT WILL REQUIRE APPROVAL OF A NEW ZONING OVERLAY DISTRICT BY THE TOWN COUNCIL OF COVENTRY.
4. UTILITY PERMITS FROM APPLICABLE AGENCIES AND APPROVAL FROM THE LOCAL FIRE DISTRICT.

Existing Conditions Information

1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VANASSE HANGEN BRUSTLIN, INC, DURING JANUARY 8, 2025 AND FEBRUARY 12, 2025.

TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.

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2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



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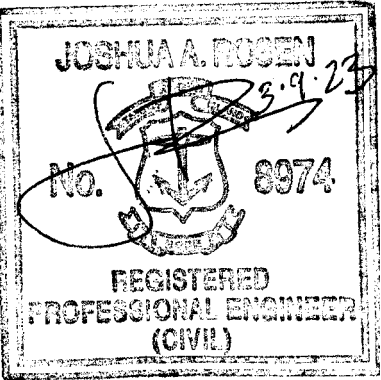
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Drawing Title

Legend & General Notes



Drawing Number

C1.01

Sheet 1 of 11

Project Number
73562.00

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David T & Christi Olton
2271 New London Turnpike
Coventry, RI 02816

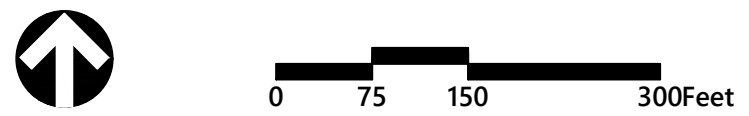
Legal Counsel
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500' RADIUS

PROJECT SITE

ZONING DISTRICT BOUNDARY

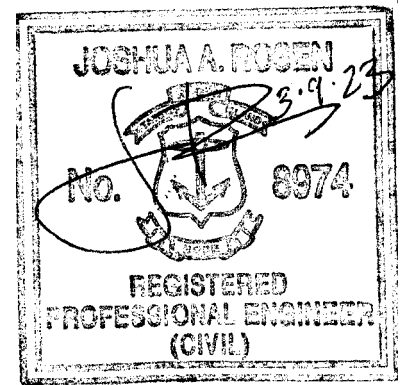
ASSESSOR'S PLAT BOUNDARY



666 Arnold Rd., 2271 New London Tpk.
Coventry, Rhode Island

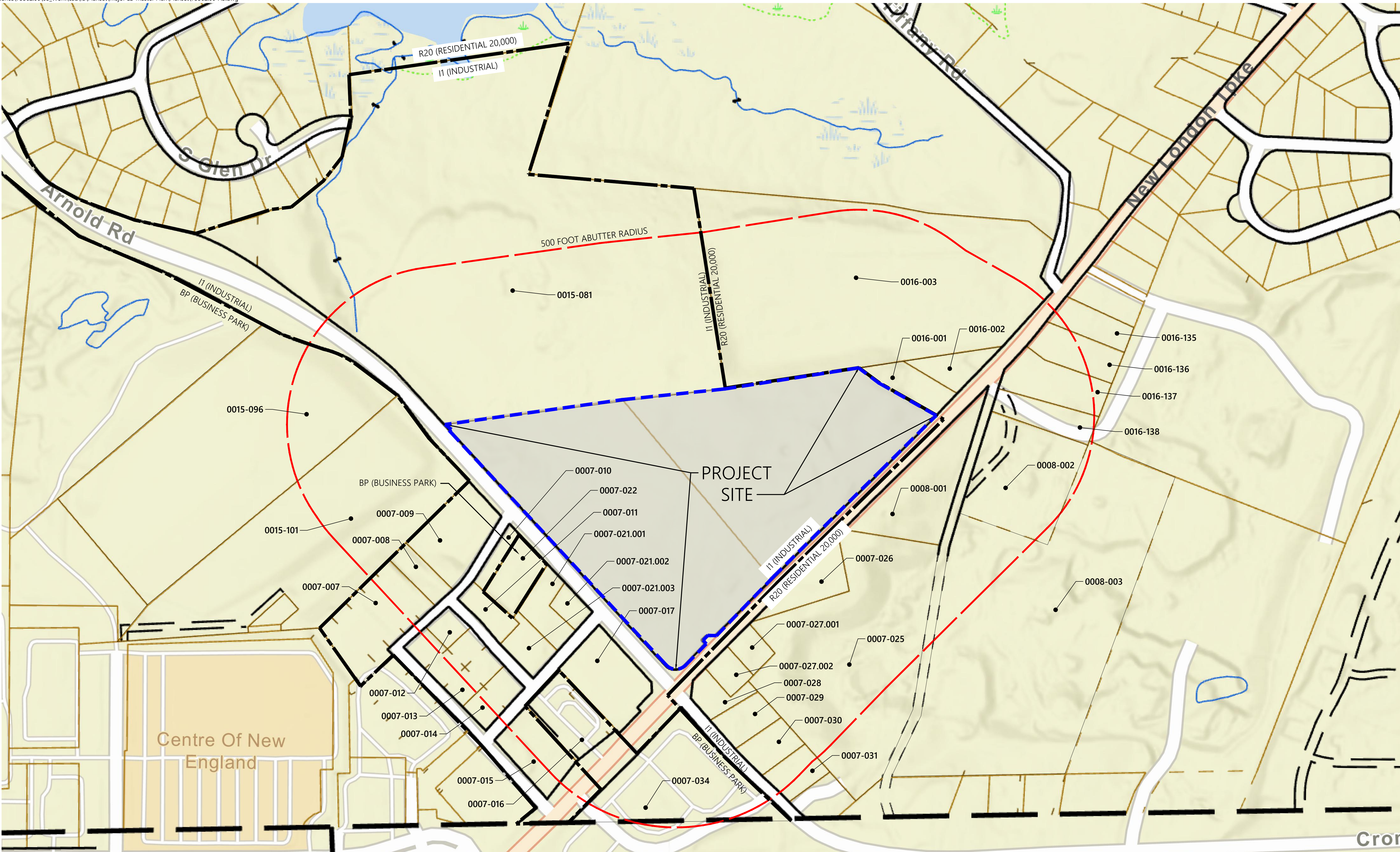
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Abutters Locus Map



C2.01

Project Number
73562.00



GREATVIEW PROPERTIES LLC 11 GRAND VIEW ST PO BOX 1275 COVENTRY, RI 02816 0007-007.000	THE G2 GROUP LLC 6 GRAND VIEW ST COVENTRY, RI 02816 0007-011.000	AIM REALTY COVENTRY LLC 172 WORCESTER ST NATICK, MA 01760 0007-015.000
CLIFF LYNN 56 WOOD COVE DR COVENTRY, RI 02816 0007-008.000	SHAKOOR-NAMINY BRENDA 8 GRAND VIEW ST COVENTRY, RI 02816 0007-012.000	KATEDEN LLC 251 SMITH ST PROVIDENCE, RI 02908 0007-016.000
RUZZO PROPERTIES LLC 599 ARNOLD RD COVENTRY, RI 02816 0007-009.000	MASIELLO HARRY J TRUST MASIELLO HARRY J TTE 10 PENNSULVA CT COVENTRY, RI 02816 0007-013.000	OBESIAN MIL 7 LLC C/O EC AMERICA 165 FLANDERS RD WESTBOROUGH, MA 01581 0007-017.000
MULLIGAN ANDREW 633 ARNOLD RD COVENTRY, RI 02816 0007-010.000	NLT PROPERTIES LLC C/O LAWYERS COLLABORATIVE 10 ANTHONY DR LONDONDERRY, NH 03053 0007-014.000	AIM REALTY COVENTRY LLC 172 WORCESTER ST NATICK, MA 01760 0007-015.000

ZISK BARBARA J
2276 NEW LONDON TPKE
COVENTRY, RI 02816
0007-027.002

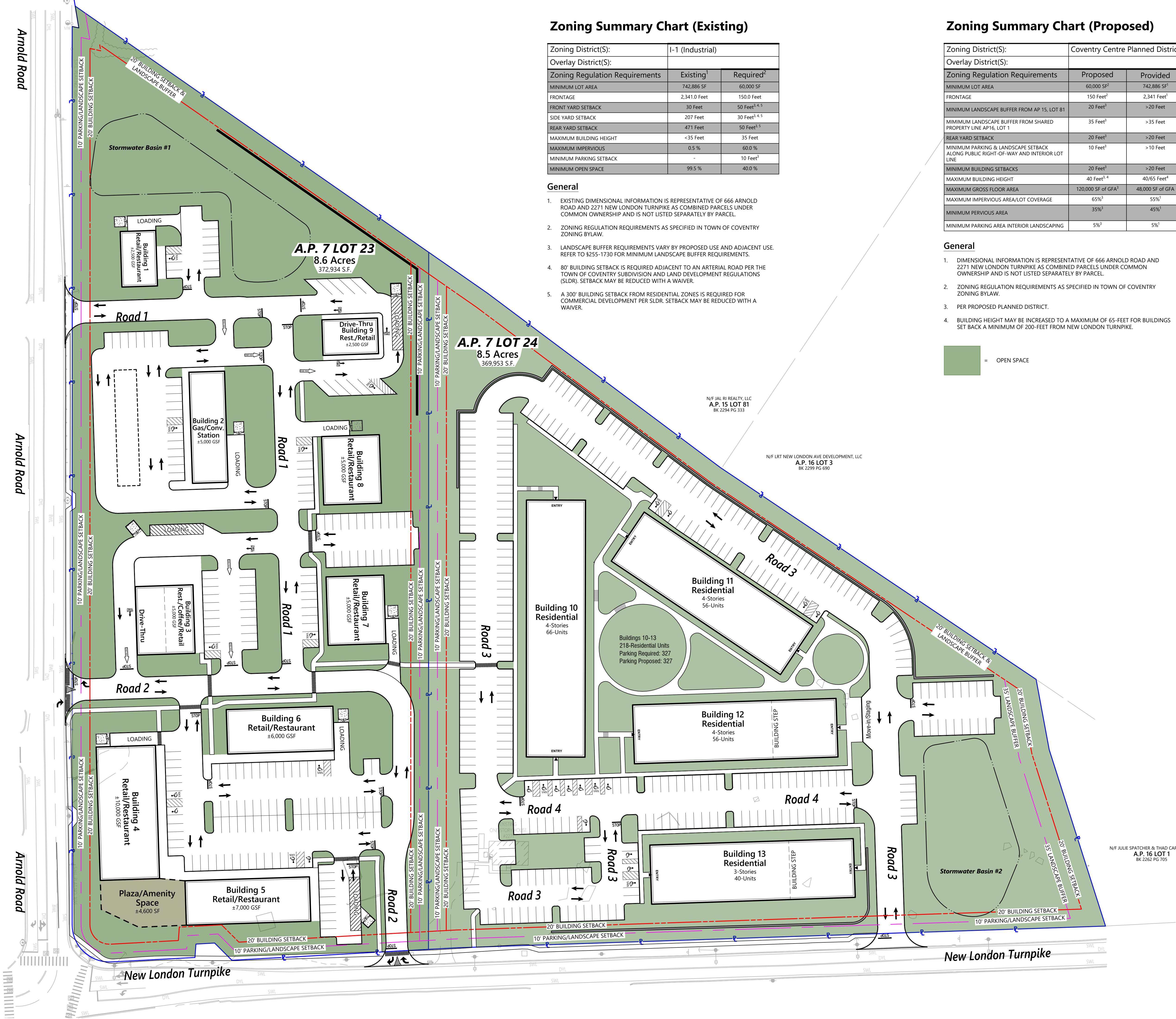
OLSON GLENN J & ROSE M
696 ARNOLD RD
COVENTRY, RI 02816
0007-031.000

JAL RI REALTY LLC
592 ARNOLD RD
COVENTRY, RI 02816
0015-081.000

LRT NEW LONDON AVE
DEVELOPMENT LLC
110 TRADERS CROSS
BLUFFTON, SC 29909
0016-003.000

COVENTRY, RI 02816
0016-138,000

EAST GREENWICH



Zoning Summary Chart (Existing)

Zoning District(S):	I-1 (Industrial)	
Overlay District(S):		
Zoning Regulation Requirements	Existing ¹	Required ²
MINIMUM LOT AREA	742,886 SF	60,000 SF
FRONTAGE	2,341.0 Feet	150.0 Feet
FRONT YARD SETBACK	30 Feet	50 Feet ^{1,4,5}
SIDE YARD SETBACK	207 Feet	30 Feet ^{1,4,5}
REAR YARD SETBACK	471 Feet	50 Feet ^{1,5}
MAXIMUM BUILDING HEIGHT	<35 Feet	35 Feet
MAXIMUM IMPERVIOUS	0.5 %	60.0 %
MINIMUM PARKING SETBACK	-	10 Feet ¹
MINIMUM OPEN SPACE	99.5 %	40.0 %

General

- EXISTING DIMENSIONAL INFORMATION IS REPRESENTATIVE OF 666 ARNOLD ROAD AND 2271 NEW LONDON TURNPIKE AS COMBINED PARCELS UNDER COMMON OWNERSHIP AND IS NOT LISTED SEPARATELY BY PARCEL.
- ZONING REGULATION REQUIREMENTS AS SPECIFIED IN TOWN OF COVENTRY ZONING BYLAW.
- LANDSCAPE BUFFER REQUIREMENTS VARY BY PROPOSED USE AND ADJACENT USE. REFER TO §255-1730 FOR MINIMUM LANDSCAPE BUFFER REQUIREMENTS.
- 80' BUILDING SETBACK IS REQUIRED ADJACENT TO AN ARTERIAL ROAD PER THE TOWN OF COVENTRY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS (SLDR). SETBACK MAY BE REDUCED WITH A WAIVER.
- A 300' BUILDING SETBACK FROM RESIDENTIAL ZONES IS REQUIRED FOR COMMERCIAL DEVELOPMENT PER SLDL. SETBACK MAY BE REDUCED WITH A WAIVER.

Zoning Summary Chart (Proposed)

Zoning District(S):	Coventry Centre Planned District	
Overlay District(S):		
Zoning Regulation Requirements	Proposed	Provided
MINIMUM LOT AREA	60,000 SF ²	742,886 SF ¹
FRONTAGE	150 Feet ²	2,341 Feet ¹
MINIMUM LANDSCAPE BUFFER FROM AP 15, LOT 81	20 Feet ³	>20 Feet
MINIMUM LANDSCAPE BUFFER FROM SHARED PROPERTY LINE AP16, LOT 1	35 Feet ¹	>35 Feet
REAR YARD SETBACK	20 Feet ¹	>20 Feet
MINIMUM PARKING & LANDSCAPE SETBACK ALONG PUBLIC RIGHT-OF-WAY AND INTERIOR LOT LINE	10 Feet ¹	>10 Feet
MINIMUM BUILDING SETBACKS	20 Feet ¹	>20 Feet
MAXIMUM BUILDING HEIGHT	40 Feet ^{1,4}	40/65 Feet ¹
MAXIMUM GROSS FLOOR AREA	120,000 SF of GFA ³	48,000 SF of GFA
MAXIMUM IMPERVIOUS AREA/LOT COVERAGE	65% ³	55% ¹
MINIMUM PERVIOUS AREA	35% ³	45% ¹
MINIMUM PARKING AREA INTERIOR LANDSCAPING	5% ³	5% ¹

General

- DIMENSIONAL INFORMATION IS REPRESENTATIVE OF 666 ARNOLD ROAD AND 2271 NEW LONDON TURNPIKE AS COMBINED PARCELS UNDER COMMON OWNERSHIP AND IS NOT LISTED SEPARATELY BY PARCEL.
- ZONING REGULATION REQUIREMENTS AS SPECIFIED IN TOWN OF COVENTRY ZONING BYLAW.
- PER PROPOSED PLANNED DISTRICT.
- BUILDING HEIGHT MAY BE INCREASED TO A MAXIMUM OF 65- FEET FOR BUILDINGS SET BACK A MINIMUM OF 200- FEET FROM NEW LONDON TURNPIKE.

■ = OPEN SPACE



1 Cedar Street
Suite 400
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Owners

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Coventry Centre Major Land Development

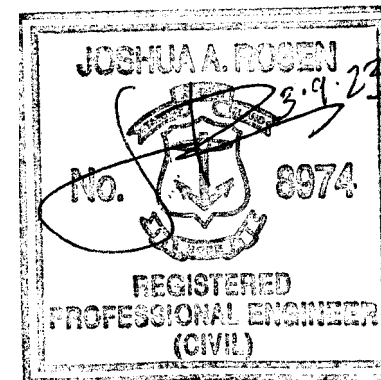
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No.	Revision	Date	Appr'd
1	Added Multifamily Residential Program	May 30, 2025	JR
Designed by		Checked by	
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Master Plan		April 18, 2025	

Not Approved for Construction

Drawing Title

Proposed Conditions Overall Site Plan

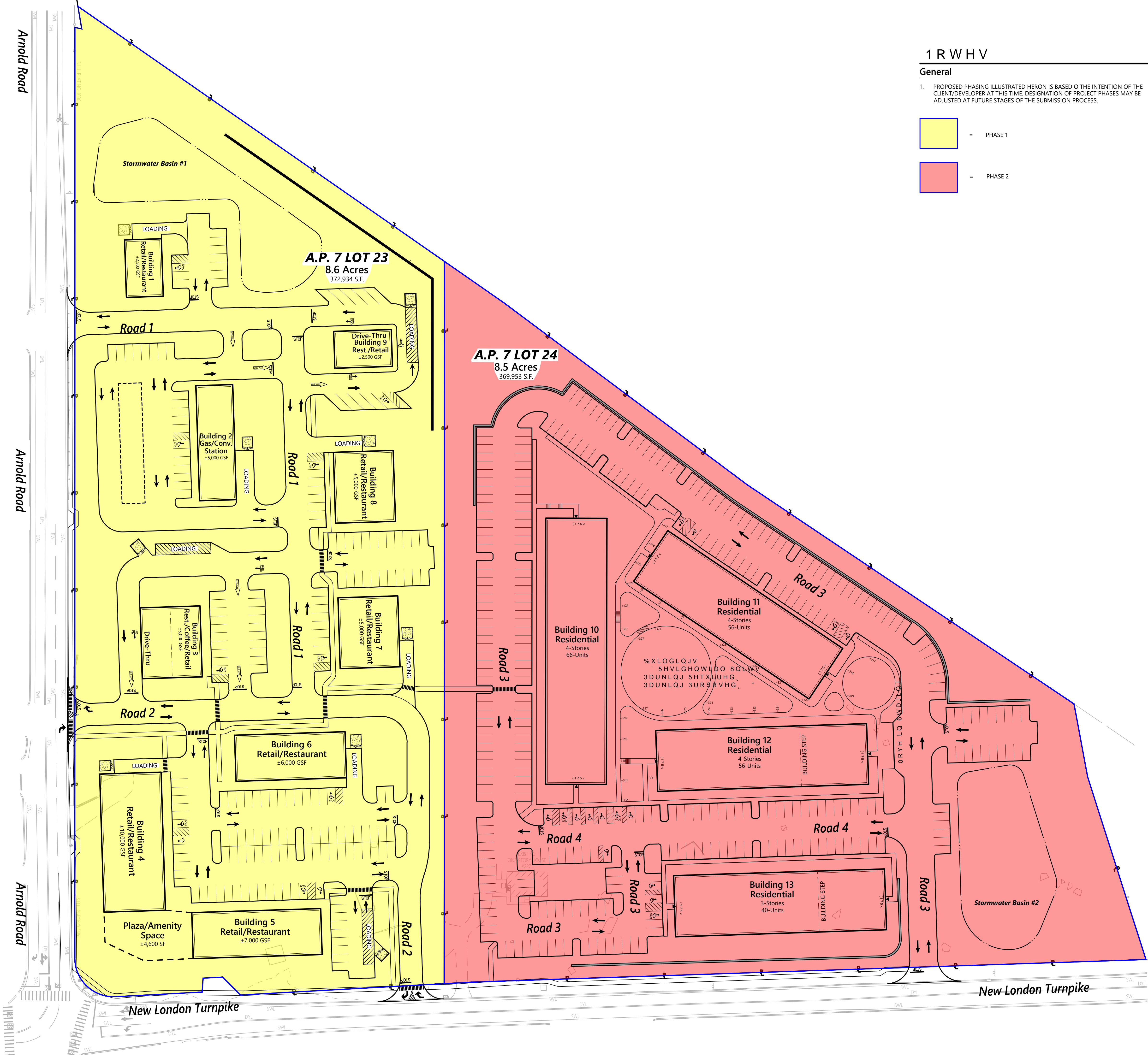


Drawing Number

C3.01

Sheet 3 of 11

Project Number
73562.00



1 R W H V

General

1. PROPOSED PHASING ILLUSTRATED HERON IS BASED O THE INTENTION OF THE CLIENT/DEVELOPER AT THIS TIME. DESIGNATION OF PROJECT PHASES MAY BE ADJUSTED AT FUTURE STAGES OF THE SUBMISSION PROCESS.

= PHASE 1

= PHASE 2



1 Cedar Street
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2 Z Q H U V
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0 25 50 100Feet

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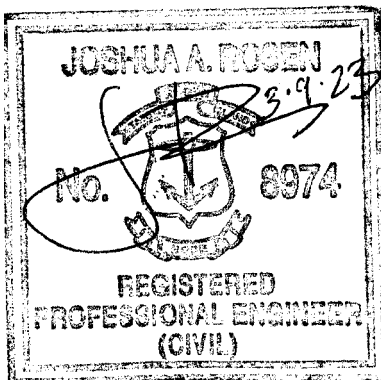
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Proposed Conditions
Phasing Plan



Project Number
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C4.01

Sheet 4 of 11



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0 25 50 100Feet

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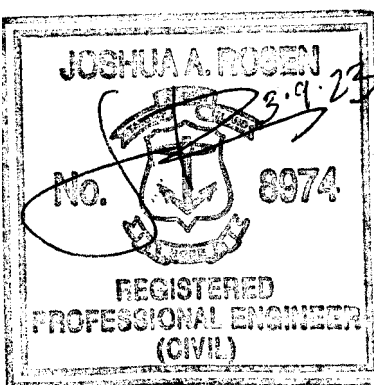
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**Proposed Conditions
Layout & Materials Plan**



Drawing Number
C5.01

Sheet
5 of 11

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ROAD LENGTHS

ROAD	LENGTH (LINEAR FEET)
1	668
2	683
3	1678
4	450
TOTAL	3479

General

- ROADS TO BE BITUMINOUS CONCRETE PAVEMENT.
- TOTAL AREA OF ROADS IS 246,371-SQUARE FEET (±135,206-SQUARE FEET-COMMERCIAL; 111,165-SQUARE FEET-RESIDENTIAL).
- LENGTH OF PROPOSED CURBING IS ±12,967-LINEAR FEET (7,479-LINEAR FEET-COMMERCIAL; 5,488-LINEAR FEET-RESIDENTIAL).
- ALL CURBING TO BE PRECAST CONCRETE CURB (PCC).
- LENGTH OF PROPOSED CONCRETE SIDEWALKS IS ±6,165-LINEAR FEET (INCLUDES ARNOLD ROAD AND NEW LONDON TURNPIKE).
- ALL LOADING SPACES SHOWN HEREON ARE A MINIMUM DIMENSION OF 60-FOOT LONG AND 12-FOOT WIDE.

COMMERCIAL PROPOSED PARKING (4-SPACES PER 1,000-SF OF GROSS FLOOR AREA)

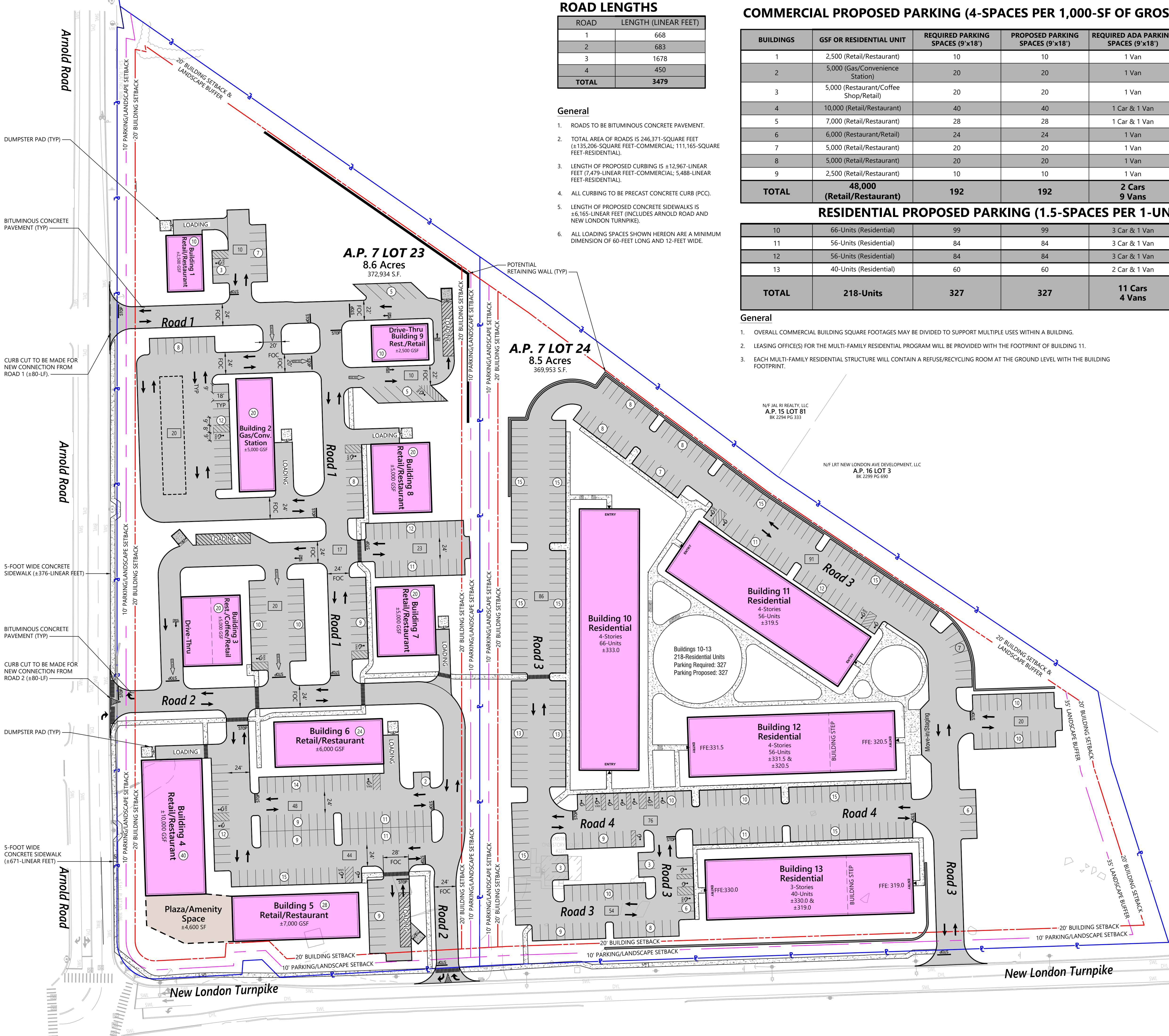
BUILDINGS	GSF OR RESIDENTIAL UNIT	REQUIRED PARKING SPACES (9'x18')	PROPOSED PARKING SPACES (9'x18')	REQUIRED ADA PARKING SPACES (9'x18')	PROPOSED ADA PARKING SPACES (9'x18')
1	2,500 (Retail/Restaurant)	10	10	1 Van	1 Van
2	5,000 (Gas/Convenience Station)	20	20	1 Van	1 Van
3	5,000 (Restaurant/Coffee Shop/Retail)	20	20	1 Van	1 Van
4	10,000 (Retail/Restaurant)	40	40	1 Car & 1 Van	1 Car & 1 Van
5	7,000 (Retail/Restaurant)	28	28	1 Car & 1 Van	1 Car & 1 Van
6	6,000 (Restaurant/Retail)	24	24	1 Van	1 Van
7	5,000 (Retail/Restaurant)	20	20	1 Van	1 Van
8	5,000 (Retail/Restaurant)	20	20	1 Van	Van
9	2,500 (Retail/Restaurant)	10	10	1 Van	1 Van
TOTAL	48,000 (Retail/Restaurant)	192	192	2 Cars 9 Vans	2 Cars 9 Vans

RESIDENTIAL PROPOSED PARKING (1.5-SPACES PER 1-UNIT)

10	66-Units (Residential)	99	99	3 Car & 1 Van	3 Car & 1 Van
11	56-Units (Residential)	84	84	3 Car & 1 Van	3 Car & 1 Van
12	56-Units (Residential)	84	84	3 Car & 1 Van	3 Car & 1 Van
13	40-Units (Residential)	60	60	2 Car & 1 Van	2 Car & 1 Van
TOTAL	218-Units	327	327	11 Cars 4 Vans	11 Cars 4 Vans

General

- OVERALL COMMERCIAL BUILDING SQUARE FOOTAGES MAY BE DIVIDED TO SUPPORT MULTIPLE USES WITHIN A BUILDING.
- LEASING OFFICE(S) FOR THE MULTI-FAMILY RESIDENTIAL PROGRAM WILL BE PROVIDED WITH THE FOOTPRINT OF BUILDING 11.
- EACH MULTI-FAMILY RESIDENTIAL STRUCTURE WILL CONTAIN A REFUSE/RECYCLING ROOM AT THE GROUND LEVEL WITH THE BUILDING FOOTPRINT.



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A.P. 7, Lot 24
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2271 New London Turnpike
Coventry, RI 02816

Applicant
Starr Capital, LLC
4800 Hampden Lane
Suite 200
Bethesda, MD 20814

Legal Counsel
Darrow Everett LLP
One Turks Head Place, Suite 1200
Providence, RI 02903
(401) 453-1200

E/T/C
D
G
S
W
FM
★
ELECTRIC/ TELEPHONE/ CABLE
DRAINAGE
GAS
SEWER
WATER
LOW PRESSURE FORCE MAIN FROM E/ONE OR EQUAL
LIGHT POLE

0 25 50 100Feet

**Coventry Centre
Major Land
Development**
666 Arnold Rd., 2271 New London Tpk.
Coventry, Rhode Island

No.	Revision	Date	Appr'd
1	Added Multifamily-Residential Program	May 30, 2025	JR

Designed by
Checked by
Issued for
Date
Master Plan
April 18, 2025

Not Approved for Construction
Drawing Title
**Proposed Conditions
Utility Plan**

Project Number
73562.00
Sheet
6
of
11
Drawing Number
C6.01



Owners
A.P. 7, Lot 23
Bernard L. Liv T, & Christopher Lefoley
356 Potters Ave.
Warwick, RI 02886

A.P. 7, Lot 24
David T & Christi Olton
2271 New London Turnpike
Coventry, RI 02816

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(401) 453-1200

DRAINAGE

0 25 50 100Feet

**Coventry Centre
Major Land
Development**
666 Arnold Rd., 2271 New London Tpk.
Coventry, Rhode Island

No.	Revision	Date	Appr.
1	Added Multifamily Residential Program	May 30, 2025	JR

Designed by
Master Plan
Checked by
April 18, 2025

Not Approved for Construction
Drawing Title
**Proposed Conditions
Erosion & Sedimentation
Control Plan**

Drawing Number
C7.01
Sheet 7 of 11
Project Number
73562.00

EROSION CONTROL
BARRIER (TYP)

STABILIZED
CONSTRUCTION
EXIT

SILTSACK
SEDIMENTATION
TRAP TO BE
INSTALLED IN ALL
PROPOSED CATCH
BASINS (TYP)

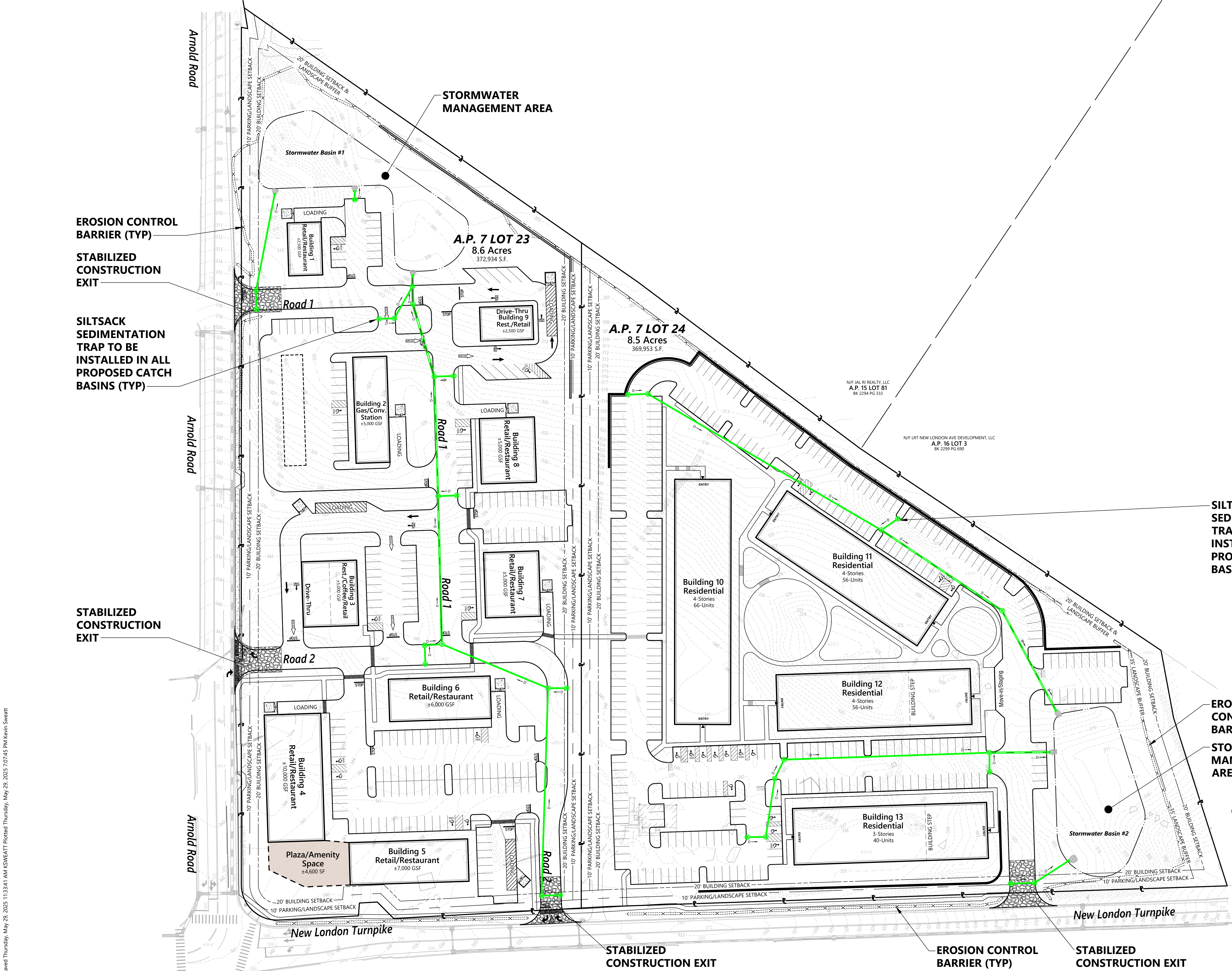
STABILIZED
CONSTRUCTION
EXIT

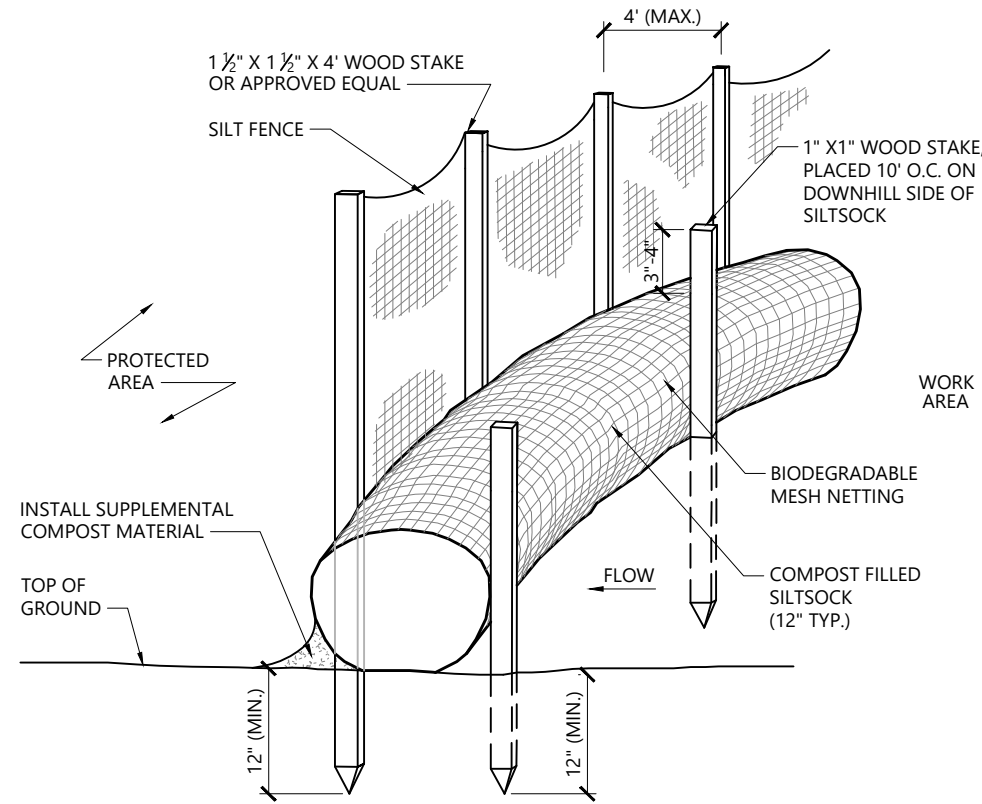
SILTSACK
SEDIMENTATION
TRAP TO BE
INSTALLED IN ALL
PROPOSED CATCH
BASINS (TYP)

EROSION
CONTROL
BARRIER (TYP)

STORMWATER
MANAGEMENT
AREA

N/F JULIE SPATCHER & THAD CARMAN JR.
A.P. 16 LOT 1
BK 2262 PG 705



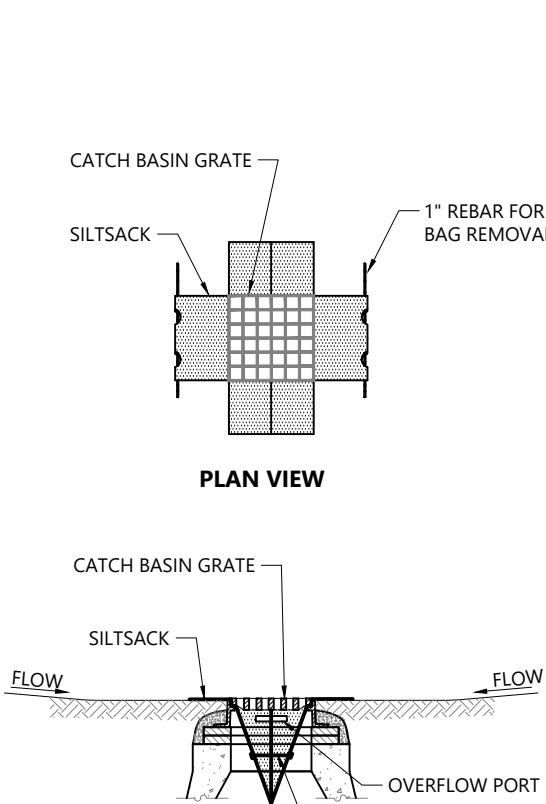


NOTES

1. SILT SOCK SHALL BE FILTREXX SILT SOCK, OR APPROVED EQUAL.
2. SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
3. SILT SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. UPON SITE STABILIZATION, COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFF SITE.

Siltsock / Silt Fence Barrier

N.T.S. Source: VHB 10/20 LD_658-A

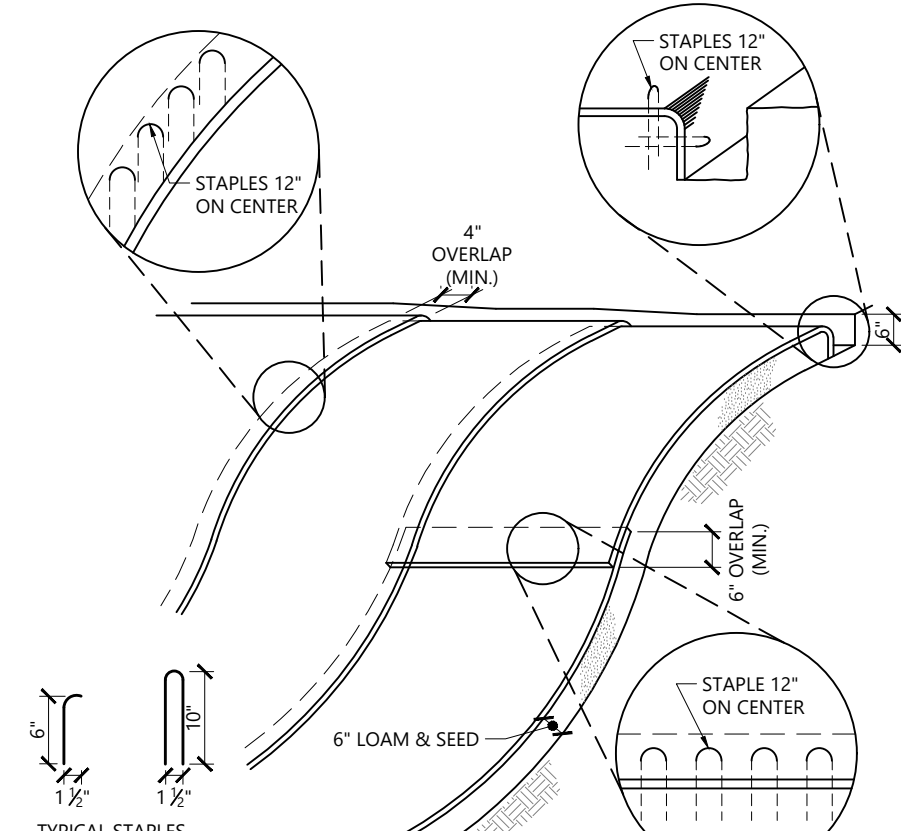


NOTES

1. INSTALL SILT SACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND STRAW BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILT SACK.
3. SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

Siltsock Sediment Trap

N.T.S. Source: VHB 1/20 LD_674

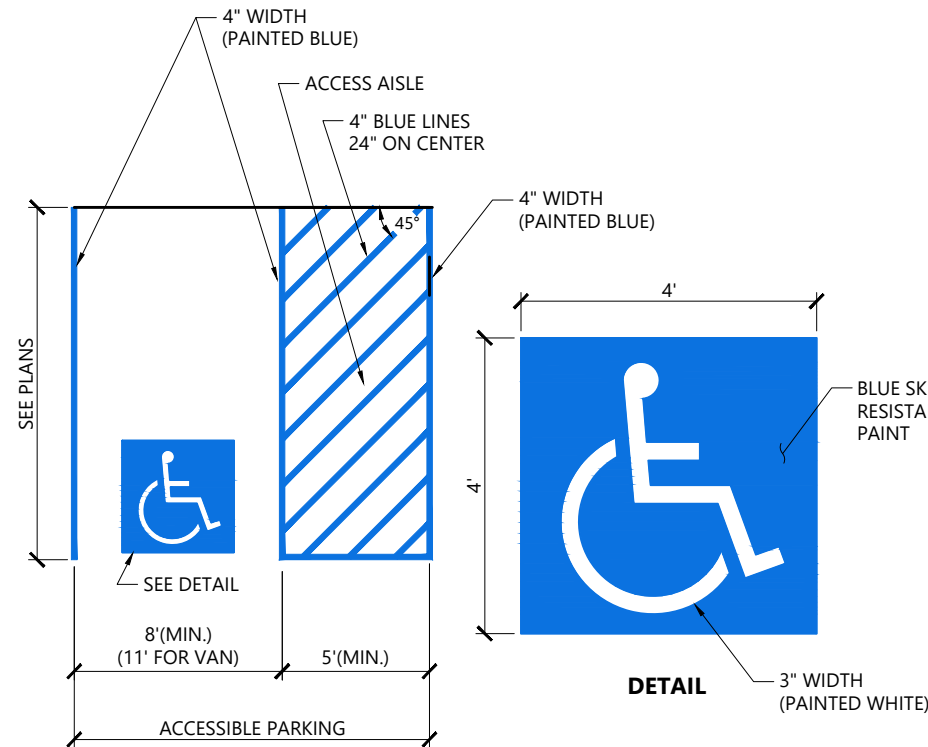


NOTES

1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6\"/>
2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
3. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
4. WHEN BLANKETS MUST BE SPICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
5. METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
6. EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS WHERE SLOPES EXCEED 3:1.

Erosion Control Blanket Slope Installation

N.T.S. Source: VHB 10/20 LD_680

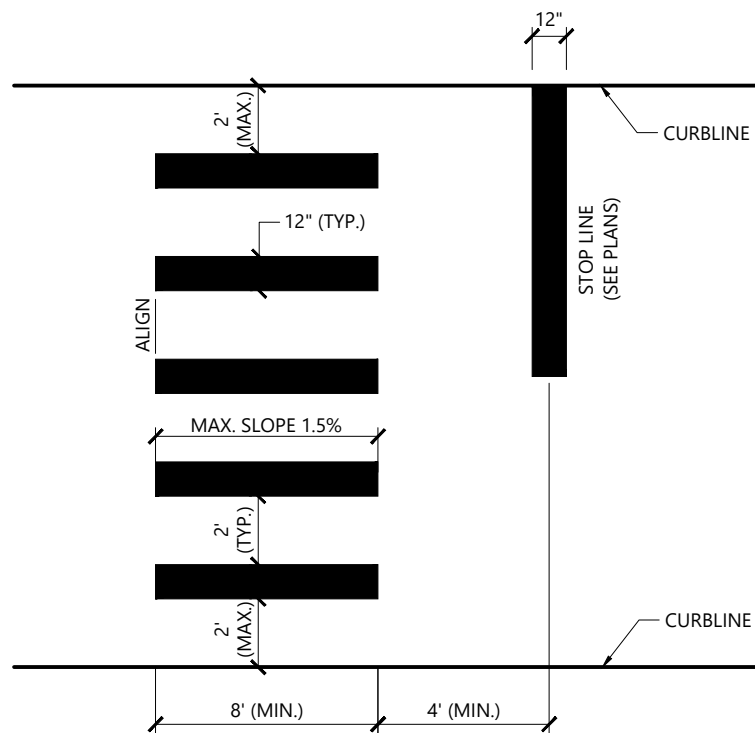


NOTES

1. ALL DIMENSIONS TO CENTER OF 4\"/>
2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

Accessible Parking Space

N.T.S. Source: VHB 12/19 LD_552A

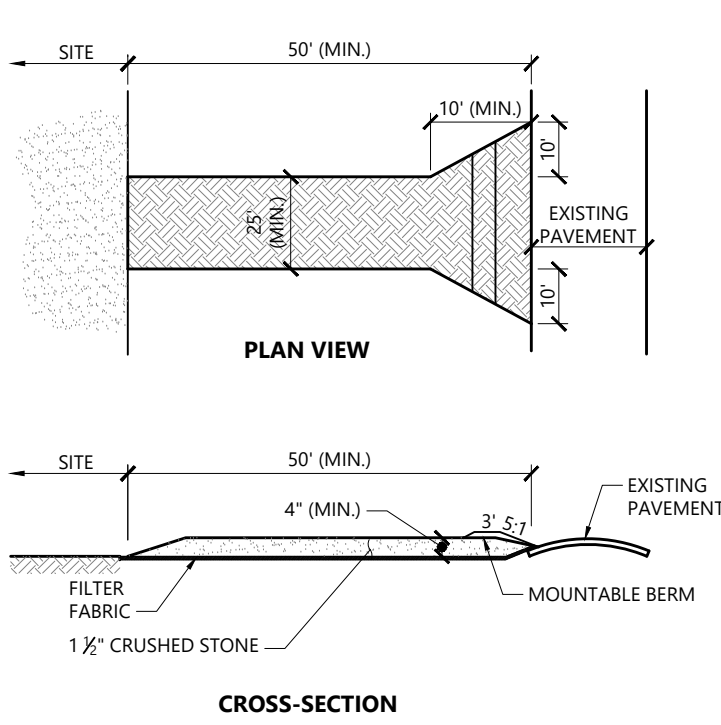


NOTES

1. TWELVE INCH (12\") LINES SHALL BE APPLIED IN ONE APPLICATION; NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
3. ALL LONGITUDINAL CROSSWALK LINES SHALL BE THE SAME LENGTH AND PROPERLY ALIGNED.
4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

Crosswalk

N.T.S. Source: VHB 12/19 LD_553A

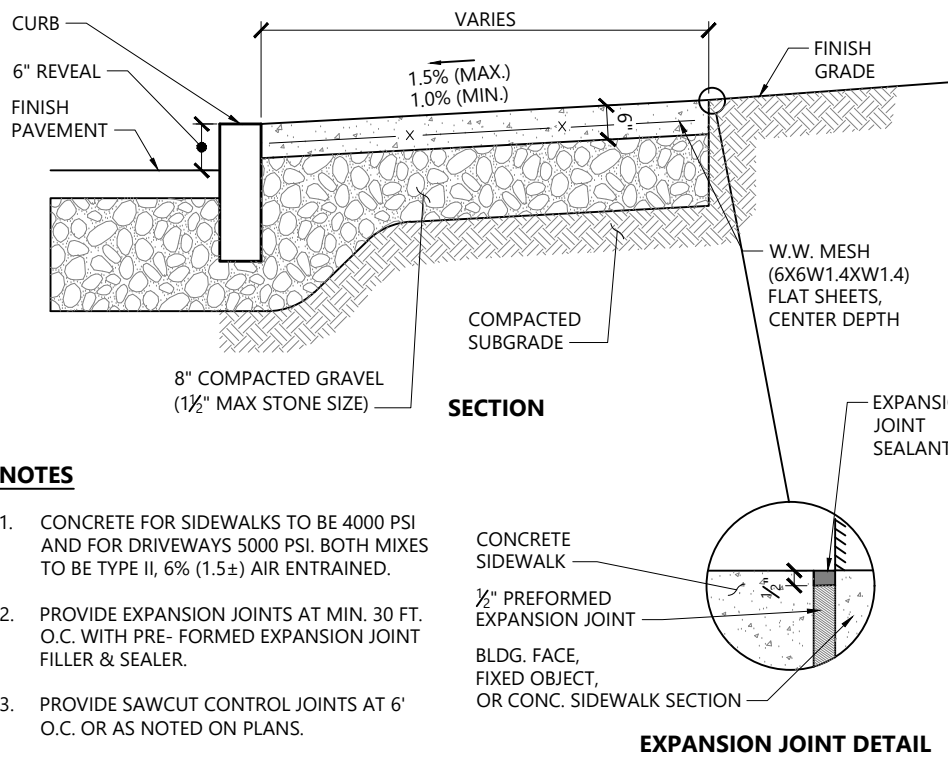


NOTES

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED, PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit

N.T.S. Source: VHB 1/16 LD_682

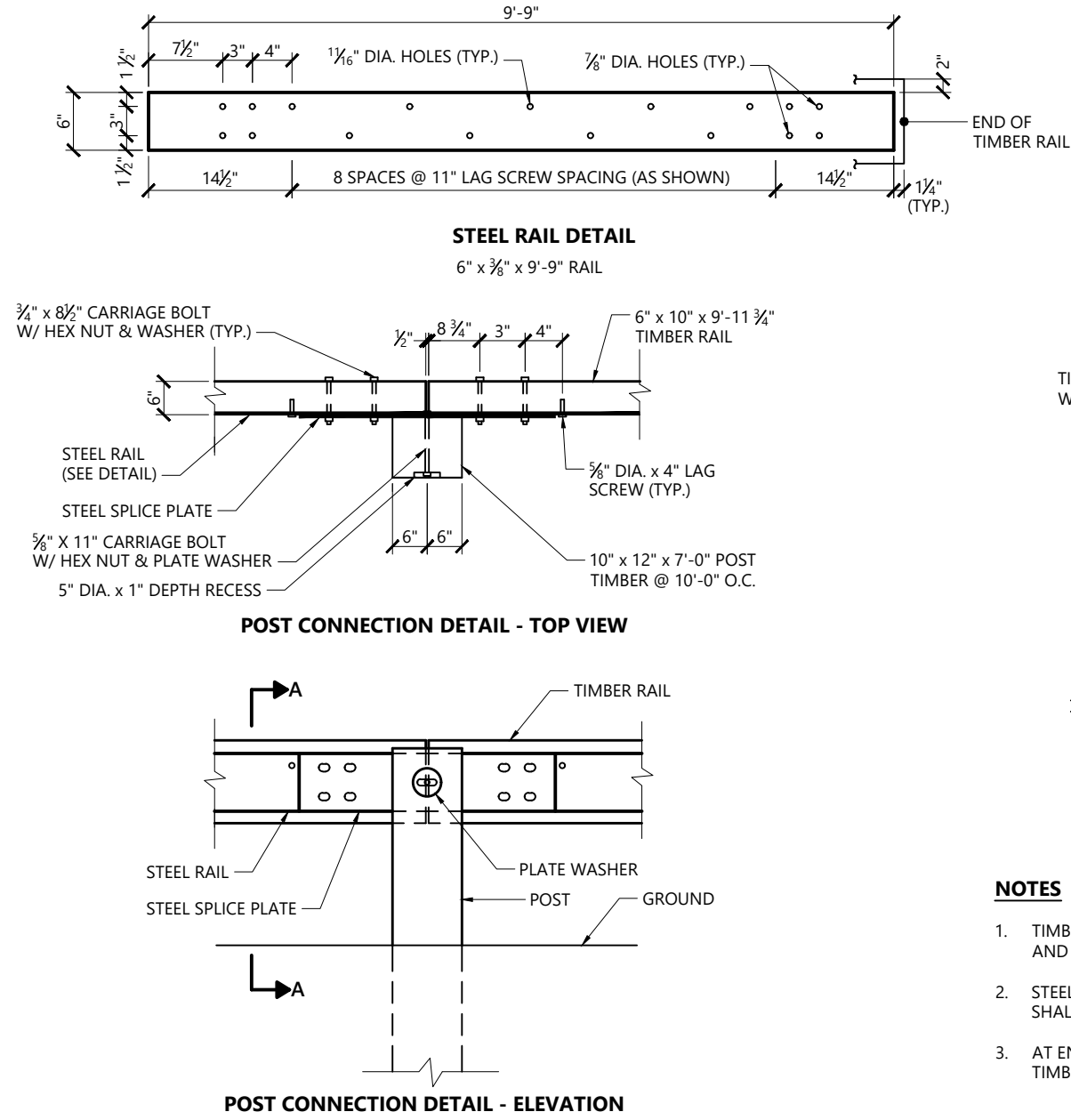


NOTES

1. CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5±) AIR ENTRAINED.
2. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLER & SEALER.
3. PROVIDE SAWCUT CONTROL JOINTS AT 6' O.C. OR AS NOTED ON PLANS.
4. PROVIDE MEDIUM BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
5. ALL EXPOSED CONCRETE SURFACES SHALL BE SEALED WITH A SILANE-SILOXANE PRODUCT.

Concrete Sidewalk

N.T.S. Source: VHB 3/20 LD_420

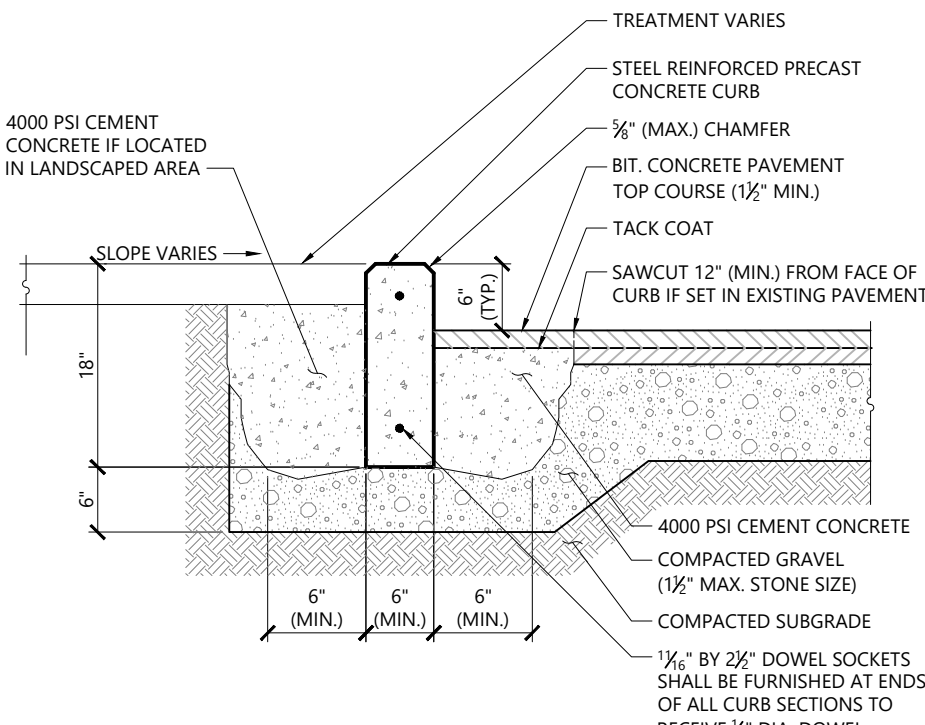


NOTES

1. TIMBER RAILS AND POSTS SHALL BE PLANED ON THE FACE AND TOP AND THEN PRESSURE TREATED.
2. STEEL RAILS, SPLICE PLATES, BOLTS, SCREWS, NUTS AND WASHERS SHALL BE GALVANIZED.
3. AT END POSTS, PROVIDE FULL COVERAGE OF POST FACE WITH TIMBER RAIL AND SPLICE PLATE.

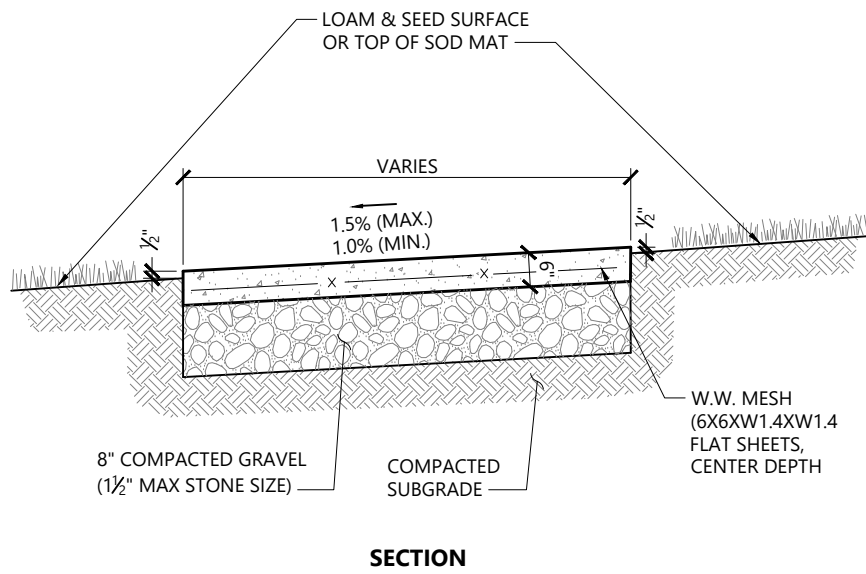
Steel-Backed Wood Guardrail

N.T.S. Source: VHB 10/20 LD_452



Precast Concrete Curb (PCC)

N.T.S. Source: VHB 3/20 LD_404



NOTES

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Concrete Sidewalk in Landscape Area

N.T.S. Source: VHB 3/21 LD_426

vhb.com

vhb

1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Owners

A.P. 7, Lot 23
Bernard L. Liv T. & Christopher Lefoley
356 Potters Ave.
Warwick, RI 02886

A.P. 7, Lot 24

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Coventry Centre
Major Land
Development

666 Arnold Rd., 2271 New London Tpk.
Coventry, Rhode Island

No.	Revision	Date	Appr'd.

Designed by	Checked by
-------------	------------

Issued for
Master Plan

Date
April 18, 2025

Not Approved for Construction

Site Details

Drawing Number

C8.01

Sheet 8 of 11

Project Number
73562.00



A.P. 7, Lot 24
David T & Christi Olton
2271 New London Turnpike
Coventry, RI 02816

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One Turks Head Place, Suite 1200
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666 Arnold Rd., 2271 New London Tpk.
Coventry, Rhode Island

Not Approved for Construction

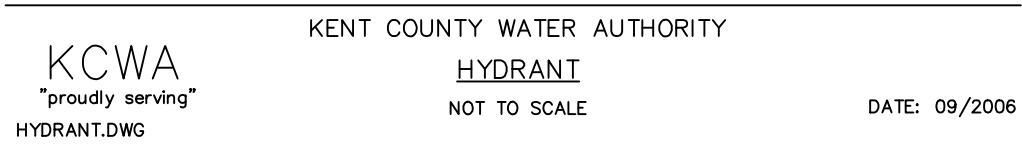
Drawing Number

C8.02

Sheet of 11

9

11



N.T.S. Source: KCWA



N.T.S. Source: VHB LD 300



N.T.S. Source: VHB LD 200

A.P. 7, Lot 24
David T & Christi Olton
2271 New London Turnpike
Coventry, RI 02816

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No.	Revision	Date	Appvd.
1	Added Multifamily Residential Program	May 30, 2025	JR

Designed by	Checked by
Issued for	Date
Master Plan	April 18, 2025

Not Approved for Construction

Landscape Plan

Drawing Number

L1.01



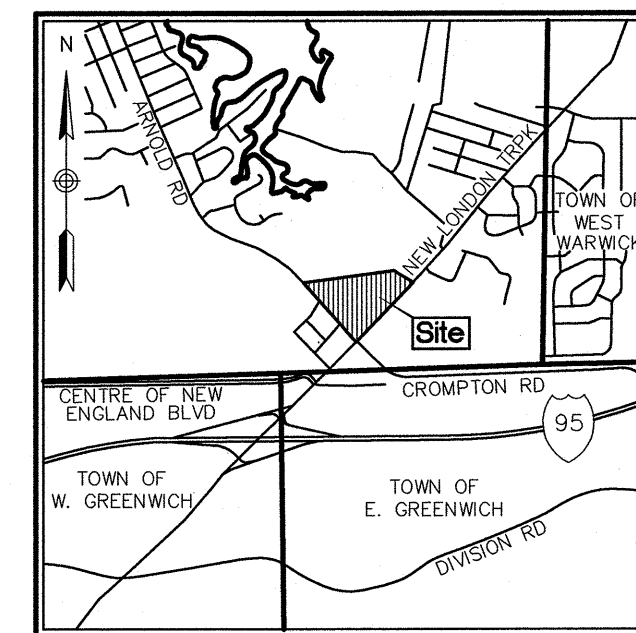
A photograph of a lush, green garden. In the foreground, a wooden walkway leads through dense foliage. A small, multi-tiered waterfall flows into a pool of water. In the background, a modern building with large windows is visible. The garden is filled with various plants, including trees and shrubs, creating a vibrant and natural environment.



Project Number
73562.00



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Locus Map
(NOT TO SCALE)

General Notes

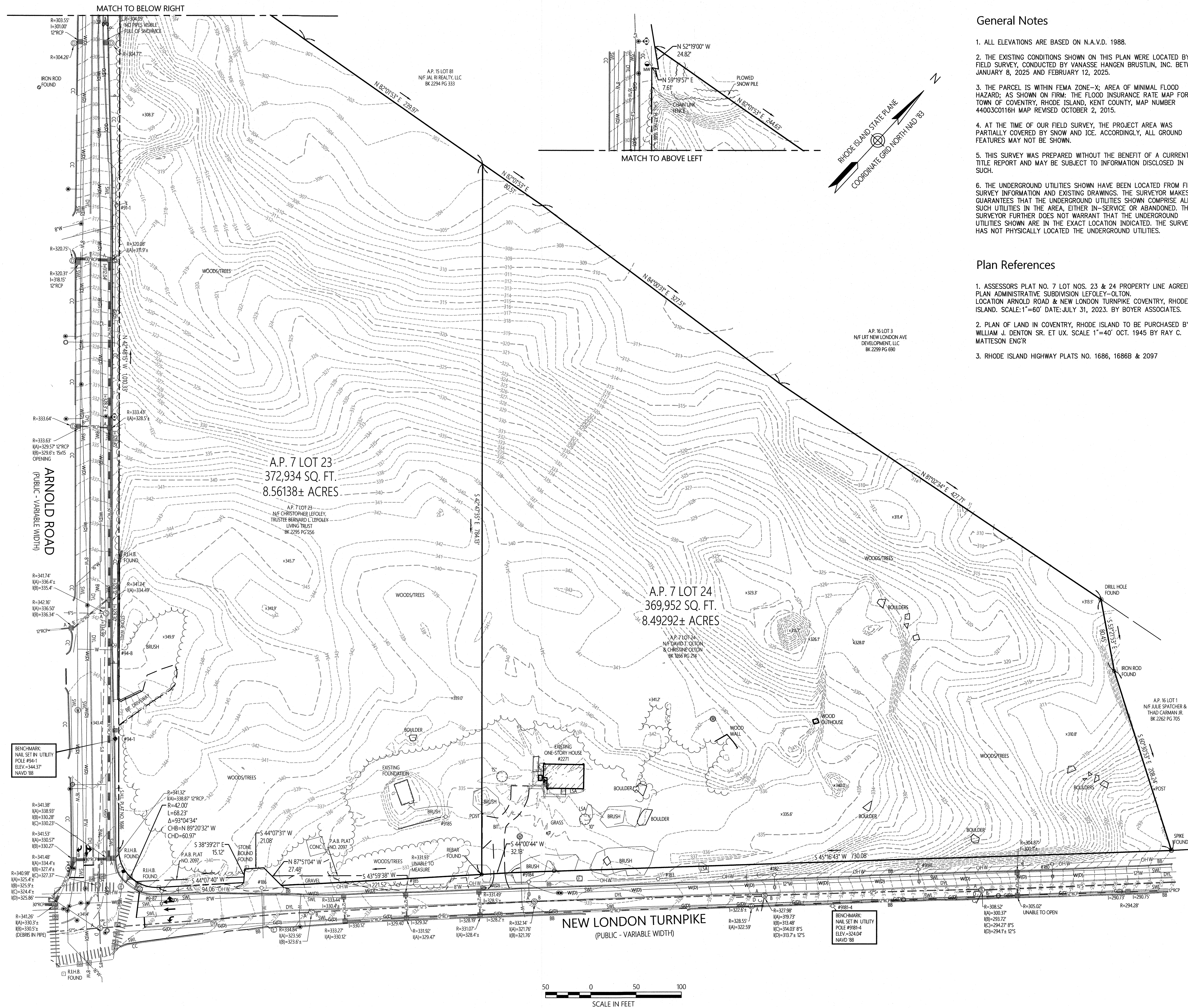
- ALL ELEVATIONS ARE BASED ON N.A.V.D. 1988.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE LOCATED BY A FIELD SURVEY, CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. BETWEEN JANUARY 8, 2025 AND FEBRUARY 12, 2025.
- THE PARCEL IS WITHIN FEMA ZONE-X; AREA OF MINIMAL FLOOD HAZARD; AS SHOWN ON FIRM: THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, RHODE ISLAND, KENT COUNTY, MAP NUMBER 44003C0116H MAP REVISED OCTOBER 2, 2015.
- AT THE TIME OF OUR FIELD SURVEY, THE PROJECT AREA WAS PARTIALLY COVERED BY SNOW AND ICE. ACCORDINGLY, ALL GROUND FEATURES MAY NOT BE SHOWN.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO INFORMATION DISCLOSED IN SUCH.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

Plan References

- ASSESSORS PLAT NO. 7 LOT NOS. 23 & 24 PROPERTY LINE AGREEMENT PLAN ADMINISTRATIVE SUBDIVISION LEFOLEY-OLTON. LOCATION ARNOLD ROAD & NEW LONDON TURNPIKE COVENTRY, RHODE ISLAND. SCALE: 1"=60' DATE: JULY 31, 2023. BY BOYER ASSOCIATES.
- PLAN OF LAND IN COVENTRY, RHODE ISLAND TO BE PURCHASED BY WILLIAM J. DENTON SR. ET UX. SCALE 1"=40' OCT. 1945 BY RAY C. MATTESON ENGR
- RHODE ISLAND HIGHWAY PLATS NO. 1686, 1686B & 2097

Legend

- ① DRAIN MANHOLE
- ② CATCH BASIN
- ③ SEWER MANHOLE
- ④ ELECTRIC MANHOLE
- ⑤ TELEPHONE MANHOLE
- ⑥ MANHOLE
- HH □ HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- ★ BOLLARD/LIGHT
- ☆ STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- F.F.E.=45.27'
- FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE YELLOW LINE
- DECIDUOUS TREE WITH SIZE
- CONIFEROUS TREE WITH SIZE
- EDGE OF PAVEMENT
- CONCRETE CURB
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARDRAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- P.A.B. PERMANENT AERIAL EASEMENT



Starr Properties

666 Arnold Rd & 2271 New London Trpk
Coventry, Rhode Island

No.	Revision	Date	Appr.

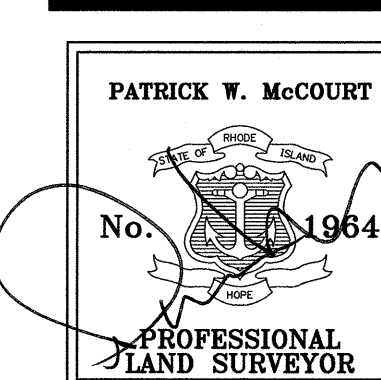
Designed by _____ Checked by _____

Issued for _____ Date _____

Design

February 10, 2025

Property Line and Existing Conditions Plan
Assessor's Plat 7
Lots 23 & 24



Sv-1

Sheet 1 of 1

Project Number
73562.00

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- | | |
|---|---------------------------------|
| (A) TYPE OF BOUNDARY SURVEY:
LIMITED CONTENT BOUNDARY SURVEY | MEASUREMENT SPECIFICATION:
I |
| (B) OTHER TYPE OF SURVEY
DATA ACCUMULATION SURVEY
TOPOGRAPHIC SURVEY ACCURACY | III
T2 |
| (C) STATEMENT OF PURPOSE | |

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FUTURE SITE DEVELOPMENT

BY 2/10/25
PATRICK W. MCCOURT, P.L.S. #1964
C.O.A. #A92

50 0 50 100
SCALE IN FEET