

STORMWATER OPERATION & MAINTENANCE MANAGEMENT PLAN

For

Proposed Storage Condo Units

At Land on Tiogue Avenue

Coventry, RI 02816

Ap 28 / Lot 49



Prepared for:

Dante Real Estate II

2289 Flat River Road

Coventry, Rhode Island 02816

Dated: May 8, 2025



Prepared by:

Coventry Survey Co, Inc.

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DRAINAGE AND BMP - OPERATIONS AND MAINTENANCE PLAN

Introduction:

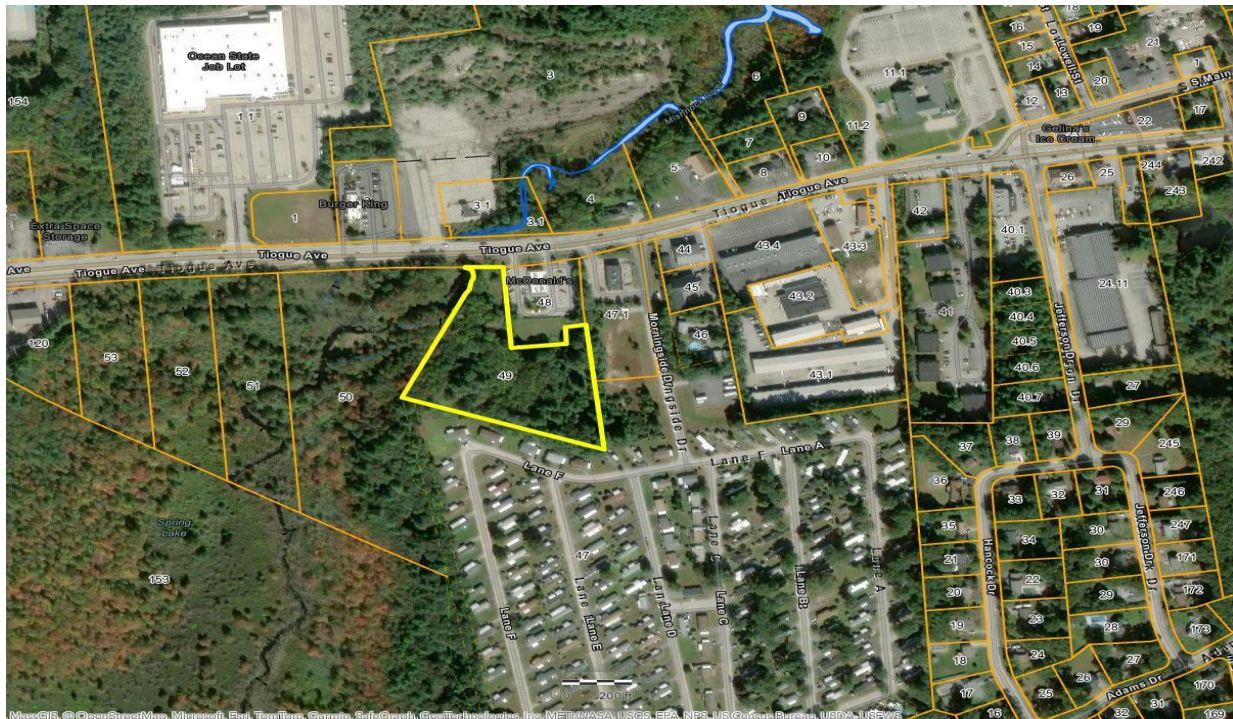
The operation and maintenance of the stormwater best management practices (BMP) are critical for their continual function of stormwater runoff mitigation (flooding and recharge) and stormwater quality (pollutants). This Operation and Maintenance Plan (O&M plan) is for the proposed development at on Tiogue Avenue RI Route, 3. This development consists of a 10,000 SF car storage facility with a parking lot area in the front and an infiltration basin in the back of the lot.

Site Description:

The site is approximately 3.83 acres and is located on Tiogue Avenue. The site was previously developed in the 1970's but there is currently no building on site. The site drains from east to west to the Mishnock River located on the adjacent property. There is a large wetland area located on that side of the property. The predominant soil on the site is well draining, poorly graded, sandy gravel. The lot to the northeast of the site is a McDonalds and the lot south of the site is a mobile home part. Both lots are fully developed. The McDonalds has a deeded Drainage easement that crosses the frontage of the subject site.

The proposed drainage system will consist of an infiltration basin with sediment forebay. Refer to the attached BMP Location Map (Appendix A) for the location of all stormwater BMPs.

Site Map:



Stormwater Management Systems:

Description:

The design will utilize low impact development best management practice (BMP) techniques to mitigate onsite stormwater. These techniques will consist of a drainage manhole, pipes, a swale, flair end sections, an infiltration basin, and a sediment forebay.

Inspector and Maintenance Operator:

The owner will maintain all components associated with the proposed project. The owner shall designate a qualified professional entity or individual to perform all monitoring & maintenance of the stormwater management system. The name, address, and telephone number of the entity or individual shall be provided to the local D.P.W.

Name: _____

Address: _____

Telephone: _____

All stormwater components associated with the building and driveway and parking lot will be maintained by the property owner. Maintenance shall be performed by a qualified professional.

Funding Source:

Funding for the maintenance of the stormwater BMP shall be provided by the owner. The annual anticipated cost for the inspection and maintenance is as follows:

Inspection: Quarterly inspection \$100/inspection or \$400/year

Annual cleaning and sediment removal: \$4,000 dollars.

Easement:

There is a drainage easement located on the northern side of the property for McDonalds

Inspection & Cleaning Criteria:**General Inspections and Cleaning Criteria:**

An inspection form shall be compiled for each structure for each inspection. Completed sheets shall be kept in an organized manner by the maintenance provider and shall be stored for a minimum of 5 years. Blank templates for each of the stormwater management systems are provided in Appendix-C at the end of this report.

Stormwater Management structures, facilities and permanent BMP's must be inspected in accordance with this document. All documentation on scheduled inspections, time of inspections, maintenance completed, remedial actions taken to make repairs, and any modifications or reconstruction of the stormwater management system shall be submitted to the local Conservation Department & D.P.W. within (30) days of the inspection.

Disposal of the accumulated sediment must be in accordance with all applicable local, state, and federal guidelines and regulations. If any area, basin or drainage outfall indicates the presence of petroleum, it shall be removed and disposed of immediately in accordance with all applicable local, state, and federal regulations.

Pea Gravel Diaphragm:

Sediment forebays shall be inspected bi-annually, preferably in the Spring and Fall for trash and other debris. All pea gravel shall be cleaned, and sediment removed when it has filled the voids between the Pea gravel. And the fabric replaced The Mirafi filter fabric shall be inspected annually for any tears or rips.

Infiltration Basin:

The infiltration basin shall be inspected annually and after rain events that are greater than 1 inch. Trash and debris should be removed from the basin and outlet control structures to ensure the basin functions correctly. The basin shall be mowed when the grass exceeds a height of 18" to a height of 4". All grass clippings shall be removed from the basin prior to any storm event or within 24 hours. All riprap pads shall be cleaned, and sediment removed when sediment has filled the voids between the rocks. The basin shall be drained, and sediment removed when sediment exceeds 30% of storage volume.

Outlet Control Weir:

Outlet control structures shall be inspected on a quarterly basis, preferably 3 months apart for trash and other debris. Outlet control structures shall be inspected for any cracks and/or broken pieces.

Pollution Prevention and Material Management:

Pollution Prevention:

Pollution prevention and material management reduces the risk of spills or other accidental exposure of materials and substances to stormwater runoff.

- A. All materials stored onsite will be kept in a neat, orderly manner, and under a roof or other weatherproof enclosure.
- B. Products shall be kept in their original containers with the original manufacturer's label.
- C. Substances should not be mixed with one another, unless recommended by the manufacturer.
- D. Whenever possible, all products will be used up before disposing of a container.
- E. Original materials, labels, and material safety data sheets that contain important information shall be kept onsite.
- F. Fertilizers:
 - 1.) Fertilizer shall only be used in the minimum amount or as recommended by the manufacturer.
 - 2.) The contents of any unused fertilizer shall be transferred to a clearly labeled, weatherproof sealable plastic bin, to avoid spillage.
- G. Paints and Solvents:
 - 1.) All paints and solvents shall be stored in original manufacturer's containers and in a weatherproof covered location.
 - 2.) The use of paints and solvents shall, whenever possible, be limited to service or storage bays. When not possible, the work area shall be protected with impermeable drop clothes or tarps. At no point shall material be disposed of in drainage structures or areas that flow to the drainage system.

Spill Control Practices:

- A. The manufacturer's recommended methods shall be clearly posted for spill clean-up. Site personnel shall be made aware of the procedures and the locations of clean-up information and supplies.
- B. Material and equipment necessary for spill clean-up will be kept onsite in a designated material storage area. Equipment will include, but not be limited to, brooms, dust pans, mops, rags, gloves, goggles, absorbent materials, sand, sawdust, and plastic & metal trash containers specifically kept and labeled for this purpose.
- C. All spills will be cleaned up immediately after discovery.
- D. Material spills of toxic or hazardous material will be reported to the appropriate state, local or federal agency, as required by-law.

The spill prevention plan will include provisions to adapt the plan to ensure that spills will not reoccur and how to clean up the spill if there is another one.

Winter Management:

1. Snow plowing operations shall stockpile snow, ice, and accumulated materials in areas shown on the BMP location map. No plowing or storage of snow into wetlands or infiltration basin is allowed.
2. During winter conditions, sand used site-wide shall be applied to the minimum extent possible to maintain safe conditions.

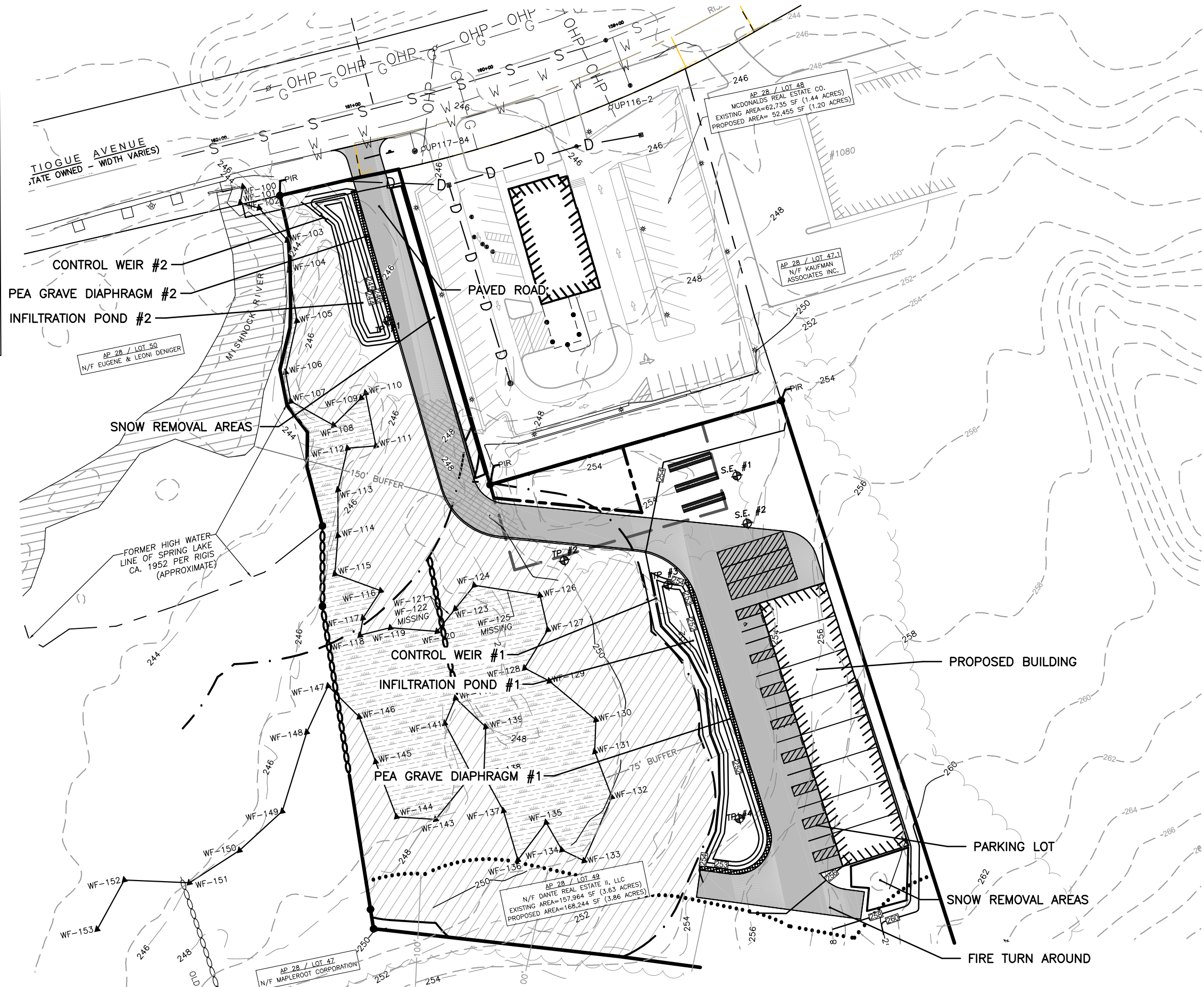
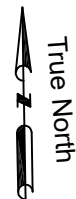
O&M APPENDIX - A

PLAN of BMP

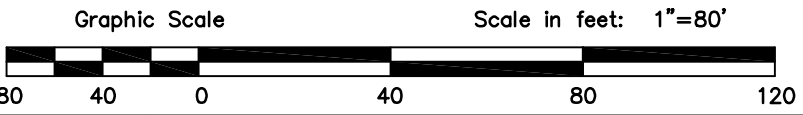
LOCATIONS

PROPOSED BMP LOCATION MAP LEGEND

	Parcel of Interest Property Line
OCS #1	Outlet Control Structure
DMH #1	Drainage Manhole
FES #1	Flare End Section
CB #1	Catch Basin
	Wetland Buffer
	Paved Road
	Gravel Road
N/F	Now or Formerly
	Stone Diversion Berm
	Chain Link Fence



PROPOSED BMP LOCATION MAP
SCALE 1" = 80'



Coventry Survey Design Group
46 South Main Street
Coventry, RI 02816
401-623-5028
coventrysdy.com

DANTE REAL ESTATE II LLC TIOGUE AVE
BMP LOCATION MAP
OF LAND ON TIOGUE AVENUE
IN THE TOWN OF COVENTRY, RHODE ISLAND
ASSESSOR'S PLAT 28 / LOTS 48 & 49
PREPARED FOR MICHAEL SACCOCIA
2289 FLAT RIVER ROAD, COVENTRY, RI 02816
401-438-5005 | mikesaccocia@cox.net

Date:
MAY 8, 2025

Sheet 1 of 1

O&M APPENDIX - B

**SAMPLE
MAINTENANCE
AGREEMENT**

Stormwater Facility Maintenance Agreement

Stormwater Facility Maintenance Agreement

THIS AGREEMENT, made and entered into this ____ day of _____, 20____, by and between _____. Hereinafter called the "Landowner", and the Town of Coventry, hereinafter called the "City".

WITNESSETH, that WHEREAS, the Landowner is the owner of certain real Property described Assessors Plat 28 Lot 49 as shown on the Administrative Subdivision Plan by Coventry Survey Co Inc.

WHEREAS, the Landowner is proceeding to build on and develop the Property; and

WHEREAS, the Site Plan known as Proposed Storage condo Units, hereinafter called the "Plan", which is expressly made a part hereof, as approved or to be approved by the City, provides for the detention of stormwater within the confines of the property; and

WHEREAS, the City and the Landowner, its successors and assigns, including any homeowners association, agree that the health, safety, and welfare of the residents of the City require that on-site stormwater management facilities be constructed and maintained on the Property; and WHEREAS, the City requires that onsite stormwater management facilities as shown on the Plan be constructed and adequately maintained by the Landowner, its successors and assigns, including any homeowners association.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The onsite stormwater management facilities shall be constructed by the Landowner, its successors and assigns, in accordance with the plans and specifications identified in the Plan.
2. The Landowner, its successors and assigns, including any homeowners association, shall adequately maintain the stormwater management facilities in accordance with the required Operation and Maintenance Plan. This includes all pipes, channels, or other conveyances built to convey stormwater to the facility, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance is herein defined as good working conditions so that these facilities are performing their design functions. The Stormwater Best Management Practices Operation, Maintenance and Management Checklists are to be used to establish what good working conditions are acceptable to the City.
3. The Landowner, its successors and assigns, shall inspect the stormwater management facility and submit an inspection report annually. The purpose of the inspection is to ensure the safe and proper functioning of the facilities. The inspection shall cover all facilities, berms, outlet structure, basin areas, access roads, etc. Deficiencies shall be noted in the inspection report.
4. The Landowner, its successors and assigns, hereby grant permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the stormwater management facilities whenever the City deems necessary. The purpose of the inspection is to follow up on reported deficiencies and/or to respond to citizen complaints. The City shall provide the Landowner, its successors and assigns, copies of the inspection findings and a directive to commence with the repairs if necessary.
5. In the event the Landowner, its successors and assigns, fails to maintain the stormwater management facilities in a good working condition acceptable to the City, the City may enter upon the Property and take whatever steps necessary to correct deficiencies identified in the inspection report and to charge

the costs of such repairs to the Landowner, its successors, and assigns. This provision shall not be construed to allow the City to erect any structure of permanent nature on the land of the Landowner outside of the easement for the stormwater management facilities. It is expressly understood and agreed that the City is under no obligation to routinely maintain, or repair said facilities, and in no event shall this Agreement be construed to impose any such obligation on the City.

6. The Landowner, its successors and assigns, will perform the work necessary to keep these facilities in good working order as appropriate. In the event a maintenance schedule for the stormwater management facilities (including sediment removal) is outlined on the approved plans, the schedule will be followed.
7. In the event the City pursuant to this Agreement, performs work of any nature or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner, its successors and assigns, shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder.
8. This Agreement imposes no liability of any kind whatsoever on the City and the Landowner agrees to hold the City harmless from any liability in the event the stormwater management facilities fail to operate properly.
9. This Agreement shall be recorded among the land records of the City and shall constitute a covenant running with the land. This covenant shall be binding on the Landowner, its administrators, executors, assigns, heirs and any other successors in interests, including any homeowners association.

WITNESS the following signatures and seals:

Company/Corporation/Partnership Name (Seal)

By:

(Type Name and Title)

The foregoing Agreement was acknowledged before me this ____ day of _____, 20____, by:

NOTARY PUBLIC

My Commission Expires: _____

By:

(Type Name and Title)

The foregoing Agreement was acknowledged before me this ____ day of _____, 20____, by:

NOTARY PUBLIC

My Commission Expires: _____

Approved as to Form:

City Attorney

Date

O&M APPENDIX - C

BMP INSPECTIONS

CHECKLISTS

Inspection and Maintenance Checklist Pea Gravel Diaphragm

Date: _____

BMP ID: _____

Inspectors: _____

Contract #: _____

Location: _____ Nearest Intersection: _____ N W S E Distance _____

Utility Pole #: _____ N W S E _____

Type of Inspection: (circle one) Post 1" Storm Monthly Bi-Annual Annual

	Issue		Condition to inspect for	Satisfactory Condition (Y/N)	Comments	Photo ID
1	Trash & Debris and Vegetation	a	No vegetation in Pea Gravel Diaphragm			
		b	Leaves, trash or debris clearance from the surface			
2	Riprap	a	Riprap is stabilized and stone cover is sufficient			
		b	Riprap is not filled with sediment			
3	Sediment	a	Sediment accumulation greater than 50%			
		b	Pea gravel Diaphragm shall be inspected bi-annually and after storm events greater than one (1) inch.			
4	Erosion	a	No evidence of erosion /gullyng within the spillway			

Overall Condition: Good Fair Poor

Maintenance Required: Yes No

Diagram (Plan View): Include flow direction, inverts, North arrow

Corrective Action:

Diagram (Plan View): Include flow direction, inverts, North arrow

Notes: _____

Inspection and Maintenance Checklist

Infiltration Basin

Date: _____

BMP ID: _____

Inspectors: _____

Contract #: _____

Location: _____

Nearest
Intersection: _____

N W S E
Distance

Utility Pole #: _____

N W S E

Type of Inspection: (circle one)

Post 1" Storm

Monthly

Bi-Annual

Annual

In accordance with Rule 250-RICR-150-10-8.23F.3, during the 1st six (6) months immediately after construction, filter practices shall be inspected following at least the first two (2) precipitation events of at least 1.0 inch to ensure that the system is functioning properly. Thereafter, inspections shall be conducted on an annual basis and after storm events of greater than or equal the 1-year, 24-hour type III precipitation event.

	Issue		Condition to inspect for	Satisfactory Condition (Y/N)	Comments	Photo ID
1	Trash & Debris and Vegetation	a	No vegetation other than grass in the sediment forebay. The sediment forebay is mowed to a height of 4 inches when growth exceeds a height of 18 inches			
		b	Leaves, trash, or debris clearance from the surface			
		c	No leaves clogging the trash rack or outlet control structure			
2	Riprap	a	Riprap is stabilized, and stone cover is sufficient			
		b	Riprap is not filled with sediment			
3	Sediment	a	Sediment accumulation greater than 10% of storage volume			
		b	Silt/Sediment shall be removed from the filter bed when the accumulation exceeds one (1) inch			
4	Erosion	a	No evidence of erosion /gully within			
		b	No evidence of flow bypassing the outlet structure			
5	Structure	a	No structural deterioration. "Hard" structures in good conditions			
6	Ponding	a	No ponding after 48 hours following a storm event. If ponding after 48 hrs. is identified, then the top six (6) inches of material shall be removed & replaced with fresh material. If discolored or contaminated material is found below the removed surface than all contaminated soil shall be removed and replaced.			

Additional fields on next page

Overall Condition: Good Fair Poor

Maintenance Required: Yes No

Corrective Action:

Diagram (Plan View): Include flow direction, inverts, North arrow

Notes:

Inspection and Maintenance Checklist Outlet Control Weir

Date: _____

BMP ID: _____

Inspectors: _____

Contract #: _____

Location: _____

Nearest
Intersection: _____ N W S E _____

Utility Pole #: _____ N W S E _____

Type of Inspection: (circle one)

Post 1" Storm

Monthly

Bi-Annual

Annual

	Issue		Condition to inspect for	Satisfactory Condition (Y/N)	Comments	Photo ID
1	Trash Rack & Outlet Control Structure Condition	a	The Outlet Control Weir is not missing or damaged			
		b	No erosion or gulying around the outlet control structure			
		c	Leaves, trash or debris blocking the overflow orifice or outlet pipe			
		d	Orifices are not clogged and are clear of any debris			

Overall Condition: Good Fair Poor

Maintenance Required: Yes No

Corrective Action:

Diagram (Plan View): Include flow direction, inverts, North arrow

Notes: _____
