

COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
PRELIMINARY PLAN APPLICATION
ASSESSOR'S MAP 45, LOTS 10, 11, 12 & 13
MAIN STREET & JURCZYK COURT
in
COVENTRY, RHODE ISLAND

PERMITTING NOTE:

THE FOLLOWING LOCAL, STATE, FEDERAL AND OTHER PERMITS/ APPROVALS SHALL BE REQUIRED FOR THE PROPOSED PROJECT:

STATE

1. RIDOT PAP
2. RIDEM STORMWATER
3. RIDEM RIPDES (SOIL EROSION)
4. RIDEM FRESHWATER WETLANDS

OTHER

1. KENT COUNTY WATER AUTHORITY (KCWA): 09/24/2025
2. COVENTRY SEWER AUTHORITY: 10/14/2025
3. LOCAL FIRE DEPARTMENT APPROVAL: 08/01/2025

PLAN NOTE:

1. ONLY PLANS STAMPED 'ISSUED FOR CONSTRUCTION' AFTER RECEIPT OF LOCAL/STATE APPROVALS SHALL BE USED FOR CONSTRUCTION.

WAIVER REQUEST:

THE FOLLOWING WAIVERS ARE BEING REQUESTED:

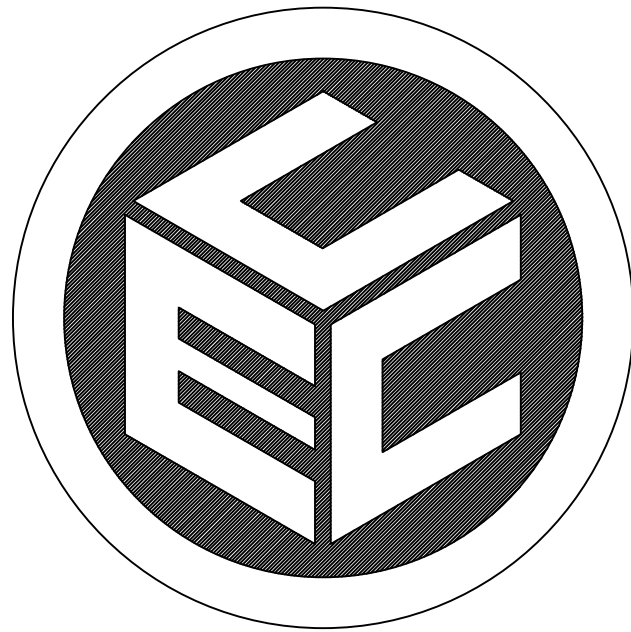
MAJOR LAND DEVELOPMENT PROJECT CHECKLIST WAIVERS:

SEVERAL CHECKLIST ITEMS ARE REQUIRED AT THE PRELIMINARY PLAN STAGE, SUCH AS RIDEM AND RIDOT PERMITS. AT THIS TIME, WE ARE REQUESTING THE FOLLOWING LIST OF CHECKLIST WAIVERS LISTED BELOW BE DEFERRED TO THE FINAL PLAN:

1. LINE 57: WETLANDS AND STORMWATER HAVE BEEN SUBMITTED TO RIDEM. PERMITS HAVE NOT BEEN ISSUED AS OF NOVEMBER 6, 2025, SEE APPENDIX-7.
2. LINE 65: WETLANDS AND A PHYSICAL ALTERATION PERMIT APPLICATION HAVE BEEN SUBMITTED. PERMITS HAVE NOT BEEN ISSUED AS OF NOVEMBER 6, 2025, SEE APPENDIX-7.
3. LINE 66: AN APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN. --SUBMITTED TO TOWN ENGINEER FOR REVIEW AT THIS TIME.

SUBDIVISION AND LAND DEVELOPMENT REGULATION WAIVERS:

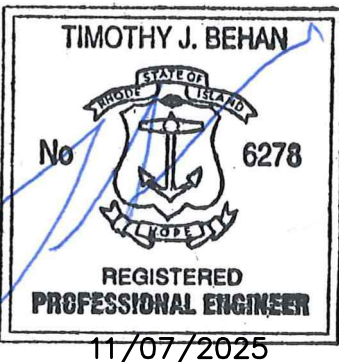
1. ARTICLE VIII (F)4: COMMUNICATION LINES (ELECTRIC, TELEPHONE, AND CABLE TV)
ALL ELECTRIC, COMMUNICATION (TELEPHONE, FIRE ALARM AND CABLE TV) AND STREET LIGHTING LINES SHALL BE INSTALLED UNDERGROUND.



PREPARED BY:
COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

DATE: MARCH 27, 2025
REVISION-1: JULY 29, 2025
REVISION-2: JULY 31, 2025
REVISION-3: SEPTEMBER 2, 2025
REVISION-4: SEPTEMBER 11, 2025
REVISION-5: NOVEMBER 7, 2025



THE ATTACHED DRAWING NUMBERS 1 TO 20 HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND HAVE BEEN THOROUGHLY CHECKED BY ME.

TIMOTHY J. BEHAN, R.I. P.E. NO.6278

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800



LOCUS MAP

SCALE 1" = 500'

SITE

SHEET INDEX

1. TITLE SHEET
2. LEGEND, NOTES AND ABBREVIATIONS
3. 500-FOOT RADIUS PLAN
4. EXISTING CONDITIONS PLAN
5. PROPOSED LAYOUT PLAN
6. PROPOSED GRADING PLAN
7. PROPOSED DRAINAGE PLAN
8. PROPOSED UTILITY PLAN
9. PROPOSED ROADWAY PROFILE PLAN-1
10. PROPOSED ROADWAY PROFILE PLAN-2
11. PROPOSED ROOF AND FOUNDATION DRAIN PLAN
12. SOIL EROSION AND SEDIMENT CONTROL PLAN
13. CONSTRUCTION DETAILS-1
14. CONSTRUCTION DETAILS-2
15. CONSTRUCTION DETAILS-3
16. CONSTRUCTION DETAILS-4
17. CONSTRUCTION DETAILS-5
18. CONSTRUCTION DETAILS-6
19. CONSTRUCTION DETAILS-7
20. CONSTRUCTION DETAILS-8
21. "SURVEY PLOT PLAN, AP45, LOTS 10, 11, 12 &13"
BY PETER V. CIPOLLA

- L-1 LANDSCAPE PLAN
L-2 LANDSCAPE DETAILS PLAN

ZONING CRITERIA:

SUBJECT LOT = A.P. 50 LOTS 10, 11, 12 & 13
AREA = 96,852 S.F. (2.2 AC.+/-)
UPLAND AREA = 96,852 S.F. (2.2 AC.+/-)
ZONE: VCM - VILLAGE MAIN STREET COMMERCIAL
PUBLIC WATER & SEWER PROPOSED
FIRE SERVICE BY CENTRAL FIRE DISTRICT

ZONING REGULATIONS SECTION 255-610 TABLE 6-2

CRITERIA	REQUIRED	PROPOSED
MINIMUM LOT AREA:	7,500 SQ. FT	96,852 SQ. FT.
MINIMUM LOT FRONTAGE	80'	86.8'±
MINIMUM BUILDING HEIGHT:	35'	<35'
MAXIMUM LOT COVERAGE:	60%	39.6%
FRONT SETBACK:	10'	>20'
INTERIOR SIDE SETBACK:	10'	>20'
CORNER SIDE SETBACK:	10'	>20'
REAR SETBACK:	20'	>20'

PROPOSED DENSITY:

16 UNITS ON 2.2 AC. = 7.27 UNITS/ACRE

PARKING CALCULATIONS:

16 UNITS X 2 SPACES/UNIT = 32 REQUIRED

1 SPACE PER GARAGE X 16 GARAGES = 16 SPACES
2 SPACES PER DRIVEWAY X 16 DRIVEWAYS = 32 SPACES
TOTAL SPACES PROVIDED = 48 SPACES > 32 REQUIRED.

IMPERVIOUS CALCULATION:

STREET AND DRIVEWAYS = 19,700 SQ. FT.
2-FAMILY BUILDINGS = 15,392 SQ. FT.
WALKWAYS = 1,600 SQ. FT.
PATIOS = 1,280 SQ. FT.
TOTAL = 37,972 SQ. FT. OR 39.6%

BUILDING COVERAGE:

15,393 / 96,852 = 15.8%

LAND SUITABLE FOR DEVELOPMENT:

WETLANDS: 0 AC.
FLOOD ZONE: 0 AC.
STREETS: 0 AC.
EASEMENTS: 0 AC. (EXISTING EASEMENT TO BE ABANDONED)
STEEP SLOPES: 0 AC.
TOTAL: 0 AC.

PROJECT NO. 25024.00

1. THESE PLANS HAVE BEEN ISSUED FOR LOCAL AND/OR STATE AGENCY REVIEW. ONLY PLANS STAMPED "ISSUED FOR CONSTRUCTION" AFTER RECEIPT OF ALL LOCAL AND STATE APPROVALS SHALL BE USED FOR CONSTRUCTION.
2. THE CONTRACTOR SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE RHOIDE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 1988 EDITION & TOWN OF COVENTRY SUBDIVISION & LAND DEVELOPMENT STANDARDS. THE TOWN'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF STATE R.O.W.'S.
3. THE CONTRACTOR SHALL READ AND FAMILIARIZE ITSELF WITH THE TOWN'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS (AS THEY PERTAIN TO CONSTRUCTION) PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONSTRUCT THE DRIVEWAY AND DRAINAGE SYSTEM IN ACCORDANCE WITH THE TOWN'S SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS, AS SPECIFIED IN THE TOWN'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS.
5. ANY REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK NOT PREVIOUSLY SECURED & PROVIDED BY THE OWNER SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO THE TERMS, CONDITIONS AND REQUIREMENTS OF ALL STATE & LOCAL PERMITS ISSUED FOR THE PROJECT.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS, INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY, INCLUDING ANY NECESSARY STOP WORK ORDERS.
7. ALL ELEVATIONS ON SUBJECT PROPERTY ARE BASED ON NGVD88 DATUM, AND HAVE A POTENTIAL VERTICAL VARIANCE OF 1± FEET.
8. NO EXISTING DRAINAGE STRUCTURE OR FACILITY SHALL BE ALTERED OR DISTURBED UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES BY THE TOWN.
10. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS, AND SHALL INSPECT THE SITE, ANY CHANGES TO THE PROJECT, OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED, SHALL BE REVIEWED BY, AND MUST BE ACCEPTABLE TO, THE ENGINEER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WORK CALLED FOR ON THE PLANS SHALL NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE PROPOSED WORK.
12. ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION OF AND APPROVAL BY THE TOWN. PROPER NOTIFICATION SHALL BE GIVEN PRIOR TO THE COMMENCEMENT OF ANY WORK, AND NO WORK SHALL PROCEED WITHOUT THE AUTHORIZATION OF THE TOWN.
13. ALL AREAS OF CONSTRUCTION SHALL BE PROTECTED BY A SUFFICIENTLY LOCATED AND FIELD-DELINEATED BY A R.I.P.S.; NO CLEARING OR DISTURBANCE SHALL TAKE PLACE OUTSIDE THE ESTABLISHED LIMIT AT ANY POINT DURING CONSTRUCTION, UNLESS EXPLICITLY AUTHORIZED BY THE TOWN.
14. PERMITS TO STATE (FEDERAL, STATE, AND LOCAL) ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL SEDIMENT & SOIL EROSION CONTROL (SEEC) DEVICES IN ACCORDANCE WITH RIDEM & TOWN STANDARDS.
15. PROPOSED GRADING ON THE SITE IS TO BE USED AS A GUIDE, SUCH THAT THE DEVELOPED AREA IS GRADED TO DRAIN ALL SURFACE RUNOFF. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE R.I. STATE BUILDING CODE, LATEST EDITION.
16. COMMUNICATION LINES (ELECTRIC, TELEPHONE, AND CABLE TV) SHALL BE INSTALLED UNDERGROUND, UNLESS OVERHEAD SERVICE IS APPROVED BY THE TOWN.
17. ALL ROAD SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE PROJECT SITE, UNLESS ON-SITE DISPOSAL AT AN APPROPRIATE LOCATION (OR LOCATIONS) IS APPROVED BY THE TOWN.
18. MANHOLE AND CATCH BASIN FRAME & COVERS SHALL BE ADJUSTED TO FINISH GRADE WITH RED BRICK AND MORTAR. OTHER TYPES OF BRICK AND/OR PRECAST CONCRETE RINGS ARE NOT ACCEPTABLE. GRATES SHALL BE SET 0.1 FEET BELOW ROAD GRADE. RIM ELEVATIONS SHOWN ON PROFILES ARE APPROXIMATE, ENGINEER TO SPECIFY FINISH RIM ELEVATIONS ON SHOP DRAWINGS. MANHOLES SHALL BE CONSTRUCTED SO AT LEAST TWO COURSES OF BRICKS ARE BETHIN THE FRAME.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES BY THE TOWN. THE FRAME AND COVERS SHALL BE RE-ADJUSTED IMMEDIATELY PRIOR TO PLACEMENT OF THE SECOND COURSE OF PAVEMENT.
20. ALL DRIVEWAY DRAINAGE SHALL REMAIN ON THE SITE AND SHALL NOT BE DIRECTED OFF SITE. OFF SITE ROADWAY RUNOFF SHALL NOT BE ALLOWED TO CATCH BASIN FRAME & COVERS SHALL BE ADJUSTED TO THE PROPOSED ENTRANCE A BITUMINOUS BERM SHALL BE CONSTRUCTED TO PREVENT ROADWAY RUNOFF FROM ENTERING THE SITE.
21. PROPOSED ROAD AND DRIVEWAY SIGHT DISTANCE TRIANGLES SHALL BE CLEARED BY THE CONTRACTOR TO THE SATISFACTION OF THE TOWN.
22. SLOPES GREATER THAN 2H:1V SHALL BE STABILIZED WITH RIDOT CLASS R-4 RIP RAP LAID ON TOP OF FILTER FABRIC (MIRAFI 180N OR APPROVED EQUIV), DEPTH OF RIP RAP TO BE 1.5 TIMES MAXIMUM STONE SIZE.
23. ALL HDPE PIPE SHALL BE ADS N-12 INTEGRAL BELL WATER-TIGHT PIPE OR APPROVED EQUIV.

APPROX	APPROXIMATE
BIT	BITUMINOUS
BOT	BOTTOM
CB	CATCH BASIN
CEM	CEMENT
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CL	CENTERLINE
CL##	PRESSURE-RATED CLASS
CLDI	CEMENT-LINED DUCTILE IRON
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARD
DG	DOUBLE-GRATE
DMH	DRAIN MANHOLE
ELEV	ELEVATION
EX	EXISTING
ESHGWT	ESTIMATED SEASONAL HIGH GROUNDWATER
GWT	GROUNDWATER TABLE
GG	GAS GATE VALVE
HDPE	HIGH-DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
INV	INVERT
L	LENGTH
LOD	LIMIT OF DISTURBANCE
LT	LEFT
MAX	MAXIMUM
MCU	MODULAR CONCRETE UNIT
MIN	MINIMUM
PROP	PROPOSED
PVC	POLY-VINYL CHLORIDE
PSI	POUNDS PER SQUARE INCH (PRESSURE)
PC	POINT OF CURVATURE
PT	POINT/POINT OF TANGENCY
PVI	POINT OF VERTICAL INFLECTION
R&D	REMOVE & DISPOSE
R&R	REMOVE & RESET
R&S	REMOVE & STOCKPILE
RCP	REINFORCED CONCRETE PIPE
RT	RIGHT
SCH	SCHEDULE (PIPES)
SDR	STANDARD DIMENSION RATIO
SED	SEDIMENT
SESC	SOIL EROSION & SEDIMENTATION CONTROL
SEV	SOIL EVALUATION
SF	SQUARE FEET
SG	SINGLE-GRATE
SMH	SEWER MANHOLE
STA	STAINLESS STEEL
ST	STATION
SY	SQUARE YARD
TEMP	TEMPORARY
TH	TEST HOLE
VERT	VERTICAL
W	WIDTH
WF	WETLAND FLAG
WQ	WATER QUALITY
YR	YEAR
'	FEET
"	INCHES
'/'	VERTICAL FEET/HORIZONTAL FEET

	PARCEL PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	GAS VALVE BOX
	WATER VALVE BOX
	CURB STOP
	UTILITY POLE AND NUMBER
	EXISTING SEWER MANHOLE
	EXISTING COMMUNICATIONS MANHOLE
	DRAINAGE MANHOLE
	CATCH BASIN OR DROP INLET
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EXISTING GUARD RAIL
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	BUILDING SETBACK LINE
	FIRE HYDRANT
	MONITORING WELL
	EX. CHAIN LINK FENCE (HEIGHT)
	PROPOSED CHAIN LINK FENCE (HEIGHT)
	PERIMETER EROSION CONTROL (COMPOST FILTER SOCK)
	TEST HOLE LOCATION
	BACKWATER VALVE
	CLEANOUT
	PROPOSED ROOF DRAIN
	PROPOSED FOUNDATION DRAIN

DEVELOPER SHALL RETAIN THE SERVICES OF A RHODE ISLAND PROFESSIONAL ENGINEER TO REVIEW AND APPROVE SHOP DRAWINGS, SAMPLES, AND OTHER SUBMITTALS OF THE CONTRACTOR FOR CONFORMANCE WITH THE DESIGN CONCEPT (THIS PLAN SET) AND TOWN REGULATIONS, WHICH INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING:

- DRAINAGE SYSTEM SHOP DRAWINGS/SKETCHES FOR PIPE, PIPE JOINTS, PIPE BEDDING/BACKFILL MATERIALS (SIEVE ANALYSIS, ETC.), COMPACTION METHODS, MANHOLE STRUCTURES, FRAME & COVERS, FRAME & GRATES, FRAME & COVER ADJUSTMENT METHODS TO FINISH GRADE, PROPOSED RISE ELEVATIONS, PIPE INVERTS AND PIPE DIAMETERS. ANY SUBSTANTIAL CHANGES TO THE DESIGN CONCEPT SHALL BE BROUGHT TO THE TOWN'S ATTENTION.
- ROADWAY CONSTRUCTION SHOP DRAWINGS/SKETCHES FOR GRAVEL BASE MATERIALS, BITUMINOUS CONCRETE COURSES, SIGNAGE/STRIPING, UNDERDRAINS, GUARDRAILS, RETAINING WALLS AND CURBING/BERMS.
- SOIL EROSION CONTROL AND DEWATERING METHODS.
- COMPACTION METHODS FOR INSTALLING PIPE/MANHOLES, GRAVEL ROAD BASE AND BITUMINOUS CONCRETE COURSES.
- TESTING METHODS AND TESTING FREQUENCY FOR DRAINAGE AND ROAD SYSTEMS. TESTING FREQUENCY SHALL BE IN ACCORDANCE WITH RIDOT AND TYPICAL ENGINEERING STANDARDS.

- THE SHOP DRAWING SUBMITTAL PACKAGE SHALL BE STAMPED BY A RHODE ISLAND PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN/TOWN ENGINEER FOR REVIEW AND APPROVAL. SHOP DRAWING RECORDS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT, INCLUDING THE WARRANTY PERIOD.
- MARKED-UP CONSTRUCTION DRAWINGS SHALL BE MAINTAINED AND KEPT AT THE JOB SITE FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS IN ACCORDANCE WITH TOWN REGULATIONS AND KENT COUNTY WATER AUTHORITY REQUIREMENTS. AS-BUILT DRAWING SHALL COMPLY WITH KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS. AS-BUILTS SHALL BE STAMPED BY A R.I. PROFESSIONAL LAND SURVEYOR AND R.I. PROFESSIONAL ENGINEER.
- PRIOR TO ACCEPTANCE OF INFRASTRUCTURE, A R.I. P.E. SHALL CERTIFY THE INFRASTRUCTURE WAS INSTALLED IN ACCORDANCE WITH THE DESIGN INTENT AND MEETS RIDOT/TOWN STANDARDS & PERMIT STIPULATIONS, AND IS READY FOR USE. AS-BUILT DRAWING SHALL COMPLY WITH KENT COUNTY WATER RULES AND REGULATIONS AND BE ACCEPTED AND APPROVED BY THE KENT COUNTY WATER AUTHORITY.

SUBSURFACE CONDITIONS NOTES:

- ALL SOIL AND TEST HOLE DATA, WATER TABLE ELEVATIONS, AND SOIL ANALYSIS SHOWN/REFERENCED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS APPLY ONLY AT THE LOCATION OF THE TEST HOLES AND TO THE DEPTHS INDICATED. SOIL TEST REPORTS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE DESIGN ENGINEER. ANY ADDITIONAL SUBSURFACE EXPLORATION SHALL BE DONE BY THE CONTRACTOR AT THE OWNERS EXPENSE. IT IS UNDERSTOOD THAT THE MAKING OF THE DEDUCTIONS, INTERPRETATIONS AND CONCLUSIONS FROM ALL THE ACCESSIBLE FACTUAL INFORMATION, INCLUDING THE NATURE OF THE MATERIALS TO BE EXCAVATED, THE DIFFICULTIES OF MAKING AND MAINTAINING THE REQUIRED EXCAVATIONS, AND THE DIFFICULTIES OF DOING OTHER WORK AFFECTED BY THE GEOLOGY AND OTHER SUBSURFACE CONDITIONS AT THE SITE OF THE WORK, ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
- THE INDICATED ELEVATION OF THE WATER TABLE IS THAT EXISTING AT THE DATE THE TEST HOLE DATA WAS DETERMINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND ALLOW FOR THE ELEVATION OF GROUNDWATER AT THE DATE OF PROJECT CONSTRUCTION. A DIFFERENCE IN ELEVATION BETWEEN GROUNDWATER SHOWN IN SOIL LOGS AND GROUNDWATER ACTUALLY ENCOUNTERED DURING CONSTRUCTION WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA WORK.

SITE NOTES:

- WHERE REFERENCED HEREIN, THE TERM "PARCEL" SHALL BE APPLICABLE TO THE COMBINED LAND AREA ENCOMPASSED BY LOTS 10, 11, 12 & 13 ALL LOCATED ON ASSESSORS MAP 45.
- THE SUBJECT PARCEL LIES WITHIN "ZONE X-AREAS OF MINIMAL FLOOD HAZARD" AS DELINEATED ON THE FIRM FLOOD INSURANCE RATE MAP FOR KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS), MAP NUMBER 44003C0104H, EFFECTIVE DATE OCTOBER 2, 2015.
- SUBJECT PARCELS ARE DEVELOPED WITH RESIDENTIAL DWELLINGS. GROUND COVERAGE IS LAWN WITH MIXED HARDWOOD SPECIES TREES OF THE PERIMETER OF THE SITE.
- THERE IS AN OFF SITE CEMETERY (AP 45 LOT 6) LOCATED AT THE WEST SIDE OF KEN RAY DRIVE ALONG MAIN STREET.
- AS SHOWN ON THE RIDEM ENVIRONMENTAL RESOURCES MAP AND TOWN OF COVENTRY GIS, THE SUBJECT PARCEL IS NOT LOCATED WITHIN EITHER OF THE FOLLOWING:
 - HISTORIC DISTRICT
 - COMMUNITY OR NON-COMMUNITY WELL HEAD PROTECTION AREA
 - RIDEM GROUNDWATER RESERVOIR, RECHARGE AREA OR SOLE SOURCE AQUIFER
- THE SITE IS NOT LOCATED IN A NATURAL HERITAGE AREA.
- SUBJECT PARCEL IS SERVICED BY KENT COUNTY WATER AUTHORITY.
- SUBJECT PARCEL IS SERVICED BY COVENTRY SEWER AUTHORITY.
- GROUNDWATER IN THE AREA IS CLASSIFIED GB BY RIDEM.
- THE SOILS IN THE AREA ARE CLASSIFIED Ur-URBAN LAND AND Ndb NARRAGANSETT SILT LOAM.
- EXISTING OVERHEAD UTILITIES ARE LOCATED ALONG THE NORTH SIDE OF MAIN STREET.
- THE SUBJECT PARCEL IS SERVICED BY THE CENTRAL FIRE DISTRICT.

MAP NOTES:

- PROPERTY LINES DEPICTED ON THE PLAN ARE BASED SURVEY BY PETER CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL 28, 2025.
- THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE.
- CONTRACTORS TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION, DIGGING, BORING, OR TESTING (CALL DIGSAFE).
- UTILITIES SHOWN ARE QUALITY LEVEL D OF THE ASCE 38-02 STANDARDS.
- GAS MAINS LOCATIONS FROM PLANS OF RECORD. GAS LOCATIONS (IF ANY) ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
- EXISTING SEWER LINES WERE TAKEN FROM TOWN OF COVENTRY GIS.
- DEPICTED DWELLINGS, ROADWAYS AND DRIVEWAYS ON THIS PLAN WERE TAKEN FROM TOWN OF COVENTRY GIS.
- EXISTING OVERHEAD UTILITIES WERE TAKEN FROM STREET OBSERVATIONS.
- EXISTING WATER LINE IS BASED UPON KENT COUNTY WATER AUTHORITY RECORDS.
- NORTH ARROW ORIENTATION IS BASED UPON SURVEY BY PETER V. CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL 28, 2025.
- TOPOGRAPHY FOR 500'-FOOT RADIUS TAKEN FROM NOAA 2022 LIDAR.

1. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE". NO DRAINAGE STRUCTURE OR FACILITY SHALL BE DISTURBED WITHOUT PROPER PERMITS UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS.
2. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE REPAIRED TO ORIGINAL CONDITION.
3. ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION AND REPRESENT APPROXIMATE LOCATIONS. SOME OBSTRUCTIONS, OBSTACLES, OR DIFFICULTIES IN THE PATH OF THE WORK, EITHER ANTICIPATED OR DISCOVERED IN THE PERFORMANCE OF THE WORK, MAY NOT BE INDICATED BY THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION OPERATIONS IN PUBLIC HIGHWAYS ADJACENT TO OTHER DEVELOPMENTS, SOME UNFORESEEN OBSTACLES, DIFFICULTIES, SOIL OR GROUND WATER CONDITIONS, ETC., MAY BE ENCOUNTERED, AND THAT THE CONTRACTOR HAS INCLUDED IN HIS BID AND CONTRACT OBLIGATIONS THE ASSUMPTIONS OF THE RISKS AND COSTS TO WHICH SUCH OBSTACLES, ETC. MAY SUBJECT HIM/HER.
4. THE LOCATION OF EXISTING UNDERGROUND PIPES, CONDUITS, AND STRUCTURES AS SHOWN HAS BEEN COLLECTED FROM THE BEST AVAILABLE SOURCES, AND THE OWNER, TOGETHER WITH HIS AGENTS, DOES NOT IMPLY OR GUARANTEE THE DATA AND INFORMATION IN CONNECTION WITH UNDERGROUND PIPES, CONDUITS, STRUCTURES, AND STRUCTURES OR PARTS THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL ASSUME THAT THERE ARE EXISTING WATER, GAS AND OTHER UTILITY CONNECTIONS IN ROUTE, WHETHER THEY APPEAR ON THE DRAWINGS OR NOT. ANY EXPENSE AND/OR DELAY OCCASIONED BY UTILITIES AND STRUCTURES OR DAMAGE THERETO, INCLUDING THOSE NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. PRIOR TO BEGINNING OF CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE SUCH SUPPLEMENTAL INVESTIGATIONS, INCLUDING EXPLORATORY EXCAVATIONS BY HAND DIGGING, AS HE DEEMS NECESSARY TO UNCOVER AND DETERMINE THE EXACT LOCATIONS OF UTILITIES AND STRUCTURES AND SHALL HAVE NO CLAIMS FOR DAMAGES DUE TO ENCOUNTERING SUBSURFACE STRUCTURES OR UTILITIES IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR WHICH ARE COMMON KNOWLEDGE. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ALL DAMAGES TO EXISTING UTILITIES AND STRUCTURES.
6. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ENGAGE A R PROFESSIONAL LAND SURVEYOR TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING AND PROPOSED UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CORRELATED BY THE SURVEYOR TO THE EXISTING RECORD PLANS. THE CONTRACTOR SHALL MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW.
7. ANY DAMAGE TO EXISTING PAVEMENT, BRIDGES, CONDUIT, SIDEWALK, FENCES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER'S STATE/TOWN.
8. WHENEVER IT MAY BE NECESSARY TO CROSS OR INTERFERE WITH EXISTING CULVERTS, DRAINS, SEWERS, WATER MAINS, OR OTHER EXISTING UTILITIES OR STRUCTURES, THE CONTRACTOR SHALL BE RESPONSIBLE TO GIVE NOTICE SHALL BE GIVEN TO THE OWNER. WHENEVER REQUIRED, ALL OBJECTS SHALL BE STRENGTHENED TO MEET ANY ADDITIONAL STRESS THAT THE WORK HEREIN SPECIFIED MAY IMPOSE UPON IT, AND ANY DAMAGE CAUSED SHALL BE THOROUGHLY REPAIRED. THE ENTIRE WORK SHALL BE PERFORMED AT NO EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ALL DAMAGES TO EXISTING UTILITIES, STRUCTURES AND PERSONAL "PROPERTY" WHICH MAY HAVE BEEN CAUSED BY BROKEN LINES AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL CONTACT THE PROPER UTILITY OR AUTHORITY TO CORRECT OR MAKE ANY CHANGES DUE TO UTILITIES OR OTHER OBSTRUCTIONS DURING CONSTRUCTION, BUT THE ENTIRE RESPONSIBILITY AND EXPENSE OF SUCH CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITIES REQUIRED TO BE REMOVED AND REPLACED DUE TO CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER, AND AT NO ADDITIONAL EXPENSE TO THE OWNER.

THE SITE IS CURRENTLY VACANT AND UTILITIES ARE ASSUMED ACTIVE. THE PROPERTY CURRENTLY CONTAINS FIVE (5) HOUSES, A GARAGE AND SEVERAL OUTBUILDING THAT ARE TO BE REMOVED AND BE DISPOSED OF IN A LEGAL MANNER. THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND OBTAINING ANY PERMITS REQUIRED FOR ALL DEMOLITION.
2. REMOVE EXISTING UTILITIES AND CAP/CLOSE OUT PER UTILITY OWNERS SPECIFICATION. CONTRACTOR TO COORDINATE WITH UTILITY OWNERS AND SHALL BE RESPONSIBLE TO OBTAIN ANY PERMITS REQUIRED.
3. EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE AND ADDITIONAL UTILITIES MAY BE PRESENT.
4. EXISTING SITE IMPROVEMENTS INCLUDING CURBS, PAPER STONES, TREES AND DEBRIS TO BE REMOVED AND DISPOSED.
5. CONTRACTOR SHALL COORDINATE ANY DEMOLITION IN THE RIDOT AND/OR TON OF COVENTRY R.O.W. AND SHALL BE RESPONSIBLE FOR ANY PERMITS REQUIRED.
6. CONTRACTOR TO COORDINATE REMOVAL OF ANY FENCES LOCATED ALONG OR NEAR THE PROPERTY LINE WITH THE ABUTTING OWNER (IF ANY).
7. ANY EXISTING OWTS ENCOUNTERED SHALL BE CLOSE PER RIDOT OWTS REGULATIONS, ANY OWTS COMPONENTS REMOVED SHALL BE DISPOSED OF IN A LEGAL MANNER.
8. ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LEGAL MANNER.
9. ANY REMAINING FOUNDATIONS FROM PREVIOUS BUILDINGS SHALL BE REMOVED AND BE DISPOSED OF IN A LEGAL MANNER.

1. ALL WORK TO BE PERFORMED WITHIN THE STATE HIGHWAY RIGHT OF WAY (R.O.W.) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FEBRUARY 2025 EDITION WITH ALL REVISIONS. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED FEBRUARY 2025) WITH ALL REVISIONS.
2. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2012, INCLUDING ALL REVISIONS.
3. CONTRACTOR MUST SUBMIT AN APPLICATION AND APPLY FOR SEPARATE UTILITY PERMIT FOR ALL UTILITY WORK TO BE PERFORMED IN THE RIDOT R.O.W.. THE APPROVAL OF THE PAPA IS NOT A SUBSTITUTE FOR A UTILITY PERMIT AND APPROVAL OF THE PAPA DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UNSHOWN, WITHIN THE STATE R.O.W..
4. AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION, INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE MAY 2012 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), INCLUDING ALL SUBSEQUENT REVISIONS.
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STREET RIGHT-OF-WAYS.
4. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

1. SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION – AUGUST 2018 EDITION (INCLUDING ALL SUBSEQUENT ADDENDA) AS WELL AS THE RHODE ISLAND HIGHWAY DESIGN TOWNSHIP STANDARD SPECIFICATIONS FOR OVERHEAD RIGID SIGNAGE.
2. RIDOT STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE RIDOT WEBSITE UNDER 'STANDARDS AND SPECIFICATIONS' (WWW.DOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP). TOWN STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE TOWN OF COVENTRY WEBSITE UNDER THE LINK 'PLANNING DEPARTMENT,' 'SUBDIVISION REGULATIONS' (WWW.WGTOWNRI.ORG/DEPARTMENTS/PLANNING/SUBDIVISION.PHP).
3. EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND GRASS SEED UNLESS OTHERWISE NOTED.
4. ALL EXCAVATION AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH R.I.D.O.T. STANDARD SPECIFICATIONS SECTION 202 AND TOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. ALL MATERIALS AND METHODS SHALL BE PERFORMED IN ACCORDANCE WITH THESE STANDARDS AND SPECIFICATIONS. ALL FILL BENEATH AREAS EXPOSED SHALL BE TO THE TOWN OF COVENTRY STANDARD SPECIFICATIONS.
5. ALL AREAS COMPLETED BY CONSTRUCTION ACTIVITIES (OTHER THAN ROADWAYS AND BENEATH STRUCTURES) SHALL BE RESTORED TO PROMOTE INFILTRATION BY TILLING THE TOP 12 INCHES OF SOIL PRIOR TO FINAL STABILIZATION.
6. ALL UNSUITABLE MATERIAL (LOAM, SUBSOIL, ROOTS, TREE TRUNKS, CLAY, SILT, ORGANIC MATTER, LARGE STONES, ETC.) SHALL BE REMOVED FROM THE ROADWAY SUBGRADE AND EMBANKMENT AREAS PRIOR TO THE PLACEMENT OF THE GRAVEL SUBBASE/BERM MATERIAL AS DIRECTED AND APPROVED.
7. SUBGRAVEL SUBBASE SHALL BE OBTAINED BY THE TOWN OF COVENTRY PROJECT AREA (SAND, GRAVEL, LOAM, ETC.) SHALL BE RE-USED, TO THE EXTENT POSSIBLE, IN OTHER LOCATIONS WITHIN THE PROJECT AREA; MINING OF SITE MATERIALS (I.E. REMOVAL OF SUITABLE IN-SITU MATERIALS FROM THE SITE AND REPLACEMENT WITH IMPORTED BORROW MATERIALS) SHALL NOT BE PERMITTED.

1. SOME EXCAVATIONS FOR PIPELINES, STRUCTURES, AND APPURTENANT WORK REQUIRED MAY OCCUR BEFORE EXISTING GROUNDWATER LEVELS.
2. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL PUMPS, DRAINS, WELL POINTS AND/OR ANY OTHER DEVICES FOR THE COLLECTION AND DISPOSAL OF GROUNDWATER OR SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK, AND SHALL PROVIDE ALL PUMPS, PIPING, AND DITCHING FOR THE REMOVAL OF WATER FROM THE TRENCHES AND EXCAVATIONS SO THAT ALL TRENCHES AND EXCAVATIONS MAY BE KEPT FREE FROM WATER AT ALL TIMES, AND SO THAT THE WORK MAY BE PERFORMED IN THE DRY.
3. DEWATERING OF EXCAVATIONS SHALL BE ACCOMPLISHED BY METHODS THAT HAVE BEEN APPROVED PRIOR TO COMMENCEMENT OF WORK BY THE ENGINEER, AND WHICH HAVE A BACKGROUND OF SUCCESSFUL DEWATERING OF EXCAVATIONS OF THIS TYPE.
4. PUMPING SHALL BE CONTINUOUS WHERE DIRECTED AND/OR AS NECESSARY TO PROTECT THE WORK, AND TO MAINTAIN SATISFACTORY PROGRESS OF SAME.
5. THE CONTRACTOR'S DEWATERING AND PUMPING OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT THERE IS NO DAMAGE TO EXISTING OPERATIONS, ANY DAMAGE TO EXISTING FEATURES OR TO THE CONTRACT WORK RESULTING FROM THE CONTRACTOR'S DEWATERING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR, AS DIRECTED BY THE OWNER, AT NO ADDITIONAL EXPENSE TO THE OWNER. PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW AND EXISTING WORK FROM FLOODING OR DAMAGE DURING STORMS OR OTHER CAUSES.
6. ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING OPERATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS WILL CAUSE NEITHER INJURY TO PUBLIC HEALTH OR PRIVATE PROPERTY, NOR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS.
8. THE CONTRACTOR SHALL CONSTRUCT DITCHES, ESTABLISH GRADING, AND PERFORM ANY AND ALL OTHER WORK AS MAY BE NECESSARY TO DRY OUT AND PREVENT SURFACE WATER AND WATER FROM DEWATERING OPERATIONS FROM ENTERING EXCAVATION AND WORK AREAS.

1. INSPECTIONS AND PROPER MAINTENANCE ARE ESSENTIAL FOR THE LONGEVITY OF THE DRAINAGE SYSTEMS. THE DRAINAGE SYSTEM SHALL BE INSPECTED IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE (O&M) PLAN PREPARED SPECIFICALLY FOR THIS DEVELOPMENT.
2. THE PROPER OWNER SHALL PROVIDE ALL ELEMENTS OF THE PROPOSED DRAINAGE SYSTEM (CATCH BASINS, DRAINAGE MANHOLES, DRAINAGE PIPING, ADSorb WATERWATER INFILTRATION/STORAGE AREA, SEDIMENT FOREBAY AND INFILTRATION PONDS). A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND A MAINTENANCE COMPANY TRAINED AND EXPERIENCED WITH THE MAINTENANCE REQUIREMENTS DETAILED IN THE O&M PLAN FOR THIS DEVELOPMENT, AS WELL AS THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL," LATEST EDITION (KNOWN AS THE "MANUAL").


APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FENNER
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

[illegible]

	<p>COMMONWEALTH ENGINEERS & CONSULTANTS, INC.</p> <p>.....</p> <p>400 SMITH STREET PROVIDENCE, RHODE ISLAND 02908 (401) 273-6600</p>
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<p>PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT FOR SIENA CONDOMINIUMS A.P. 45 LOTS 10, 11, 12 & 13 MAIN STREET COVENTRY, RHODE ISLAND</p>
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<p>LEGEND, NOTES & ABBREVIATIONS</p>	
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SCALE: AS SHOWN	SHEET NO: 2 OF 20
DRAWN BY: SMA	DESIGN BY: SMA
DATE: MARCH 27, 2025	PROJECT NO.: 25024.00

SOIL TYPE NAME	SOIL DESCRIPTION	HYDROLOGIC SOIL GROUP
HkC	HINCKLEY LOAMY SAND, 8 TO 15 PERCENT SLOPES	A
NaB	NARRAGANSETT SILT LOAM, 3 TO 8 PERCENT SLOPES	B
UD	UDORTHERENTS-URBAN LAND COMPLEX	A
Ur	URBAN LAND	A-D

MAP NOTES:

- PROPERTY LINES DEPICTED ON THE PLAN ARE BASED SURVEY BY PETER V. CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL 28, 2025.
- THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE.
- CONTRACTORS TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION, DIGGING, BORING, OR TESTING (CALL DIGSAFE).
- UTILITIES SHOWN ARE QUALITY LEVEL D OF THE ASCE 38-02 STANDARDS.
- GAS MAINS LOCATIONS FROM PLANS OF RECORD. GAS LOCATIONS (IF ANY) ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
- EXISTING SEWER LINES WERE TAKEN FROM TOWN OF COVENTRY GIS.
- DEPICTED DWELLINGS, ROADWAYS AND DRIVEWAYS ON THIS PLAN WERE TAKEN FROM TOWN OF COVENTRY GIS.
- EXISTING OVERHEAD UTILITIES WERE TAKEN FROM STREET OBSERVATIONS.
- EXISTING WATER LINE IS BASED UPON KENT COUNTY WATER AUTHORITY RECORDS.
- NORTH ARROW ORIENTATION IS BASED UPON SURVEY BY PETER V. CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL 28, 2025.
- TOPOGRAPHY FOR 500-FOOT RADIUS TAKEN FROM NOAA 2022 LIDAR.

RIVER NOTES:

PAWTUXET RIVER SOUTH BRANCH
R10006014R-04A
FORTH ORDER STREAM WITH 150' BUFFER
WARM WATER FISHERY
IMPAIRMENTS: NON-NATIVE AQUATIC PLANTS

PLAN VIEW
GRAPHIC SCALE

(IN FEET)

0 10 20 30 40 50 60 70 80 90 100 110 120

PROJECT NO.: 25024.00



ZONING CRITERIA:

SUBJECT LOT = A.P. 50 LOTS 10, 11, 12 & 13
AREA = 96,852 S.F. (2.2 AC.+/-)
UPLAND AREA = 96,852 S.F. (2.2 AC.+/-)
ZONE: VCM – VILLAGE MAIN STREET COMMERCIAL
PUBLIC WATER & SEWER PROPOSED
FIRE SERVICE BY CENTRAL FIRE DISTRICT

ZONING REGULATIONS SECTION 255-610 TABLE 6-2

CRITERIA	REQUIRED	PROPOSED
MINIMUM LOT AREA:	7,500 SQ. FT.	96,852 SQ. FT.
MINIMUM LOT FRONTAGE:	80'	86.8'±
MINIMUM BUILDING HEIGHT:	35'	<35'
MAXIMUM LOT COVERAGE:	60%	39.6%
FRONT SETBACK:	10'	>20'
INTERIOR SIDE SETBACK:	10'	>20'
CORNER SIDE SETBACK:	10'	>20'
REAR SETBACK:	20'	>20'

PROPOSED DENSITY:

16 UNITS ON 2.2 AC. = 7.27 UNITS/ACRE

PARKING CALCULATIONS:

16 UNITS X 2 SPACES/UNIT = 32 REQUIRED

1 SPACE PER GARAGE X 16 GARAGES = 16 SPACES
2 SPACES PER DRIVEWAY X 16 DRIVEWAYS = 32 SPACES
TOTAL SPACES PROVIDED = 48 SPACES > 32 REQUIRED.

IMPERVIOUS CALCULATION:

STREET AND DRIVEWAYS = 19,700 SQ. FT.
2-FAMILY BUILDINGS = 15,392 SQ. FT.
WALKWAYS = 1,600 SQ. FT.
PATIOS = 1,280 SQ. FT.
TOTAL = 37,972 SQ. FT. OR 39.6%

BUILDING COVERAGE:

15,393 / 96,852 = 15.8%

LAND SUITABLE FOR DEVELOPMENT:

WETLANDS: 0 AC.
FLOOD ZONE: 0 AC.
STREETS: 0 AC.
EASEMENTS: 0 AC. (EXISTING EASEMENT TO BE ABANDONED)
STEEP SLOPES: 0 AC.
TOTAL: 0 AC.

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
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NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

PLAN VIEW

GRAPHIC SCALE

(IN FEET)

1 inch = 30 ft.

DEMOLITION NOTES:

THE SITE IS CURRENTLY VACANT AND UTILITIES ARE ASSUMED ACTIVE. THE PROPERTY CURRENTLY CONTAINS FIVE (5) HOUSES, A GARAGE AND SEVERAL OUTBUILDING THAT ARE TO BE REMOVED AND BE DISPOSED OF IN A LEGAL MANNER. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.

DEMOLITION AT THE SITE WILL INCLUDE:

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND OBTAINING ANY PERMITS REQUIRED FOR ALL DEMOLITION.
- REMOVE EXISTING UTILITIES AND CAP/CLOSE OUT PER UTILITY OWNERS SPECIFICATION. CONTRACTOR TO COORDINATE WITH UTILITY OWNERS AND SHALL BE RESPONSIBLE TO OBTAIN ANY PERMITS REQUIRED.
- EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE AND ADDITIONAL UTILITIES MAY BE PRESENT.
- EXISTING SITE IMPROVEMENTS INCLUDING CURBS, PAVER STONES, TREES AND DEBRIS TO BE REMOVED AND LEGALLY DISPOSED.
- CONTRACTOR SHALL COORDINATE ANY DEMOLITION IN THE RIDOT AND/OR TON OF COVENTRY R.O.W. AND SHALL BE RESPONSIBLE FOR ANY PERMITS REQUIRED.
- CONTRACTOR TO COORDINATE REMOVAL OF ANY FENCES LOCATED ALONG OR NEAR THE PROPERTY LINE WITH THE ABUTTING OWNER (IF ANY).
- ANY EXISTING OWTS ENCOUNTERED SHALL BE CLOSE PER RIDEM OWTS REGULATIONS. ANY OWTS COMPONENTS REMOVED SHALL BE DISPOSED OF IN A LEGAL MANNER.
- ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LEGAL MANNER.
- ANY REMAINING FOUNDATIONS FROM PREVIOUS BUILDINGS SHALL BE REMOVED AND BE DISPOSED OF IN A LEGAL MANNER.

COMMONWEALTH

ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

**PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT**

FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND

PROPOSED LAYOUT PLAN

SCALE: 1" = 30'

SHEET NO: 5 OF 20

DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB

DATE: MARCH 27, 2025 PROJECT NO.: 25024.00

LEGEND

- PARCEL PROPERTY LINE
ADJACENT PROPERTY LINE
EXISTING RIGHT OF WAY LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING GAS LINE
EXISTING WATER LINE
EXISTING SEWER LINE
GAS VALVE BOX
WATER VALVE BOX
CURB STOP
UTILITY POLE AND NUMBER
EXISTING SEWER MANHOLE
EXISTING COMMUNICATIONS MANHOLE
DRAINAGE MANHOLE
CATCH BASIN OR DROP INLET
EXISTING SPOT GRADE
PROPOSED CONTOUR LINE
PROPOSED SPOT GRADE
EXISTING GUARD RAIL
PROPOSED WATER LINE
PROPOSED SEWER LINE
BUILDING SETBACK LINE
FIRE HYDRANT
MONITORING WELL
EX. CHAIN LINK FENCE (HEIGHT VARIES)
PROPOSED CHAIN LINK FENCE
PERIMETER EROSION CONTROLS (COMPOST FILTER SOCK)
TEST HOLE LOCATION
BACKWATER VALVE
CLEANOUT
PROPOSED ROOF DRAIN
PROPOSED FOUNDATION DRAIN

RIDOT LEGEND

- GRANITE CURB
CURB SETTING DETAIL
CONSTRUCTION ACCESS
CEMENT CONCRETE SIDEWALK
CEMENT CONCRETE DRIVEWAY
FULL DEPTH SAWCUT & MATCH BITUMINOUS AND CEMENT CONCRETE ROADWAY PAVEMENT; FOR INSTALLATION OF NEW CEMENT CONCRETE BASE: DRILL AND DOWEL C/C 24"
FULL DEPTH SAWCUT & MATCH BITUMINOUS ROADWAY PAVEMENT (DO NOT CUT CEMENT CONCRETE PAVEMENT)
4" LOAM AND SEED
REMOVE & DISPOSE CONCRETE SIDEWALK
REMOVE & DISPOSE RIGID PAVEMENT
REMOVE & DISPOSE FLEXIBLE PAVEMENT
6" PAVEMENT MARKINGS - WHITE
DOUBLE 4" PAVEMENT MARKINGS - YELLOW
MATCH EXISTING CURB

OWNER:
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PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED GRADING PLAN

SCALE: 1" = 30'
SHEET NO: 6 OF 20
DRAWN BY: SMA
DESIGN BY: SMA
CHECKED BY: TJB
DATE: MARCH 27, 2025
PROJECT NO.: 25024.00

TIMOTHY J. BEHAN
No. 6278
REGISTERED
PROFESSIONAL ENGINEER
11/07/2025

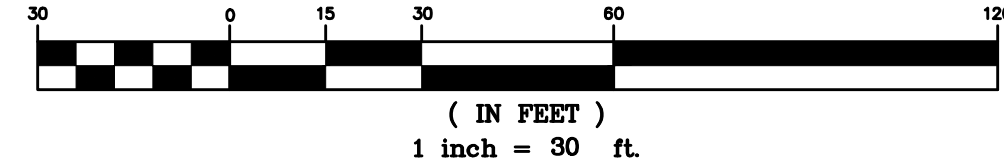
REVISIONS				
No.	DATE	DRWN	CHKD	
1	07-29-25	SMA	TJB	
2	07-31-25	SMA	TJB	
3	09-02-25	SMA	TJB	
4	09-11-25	SMA	TJB	
5	11-07-25	SMA	TJB	

RIDOT R.O.W. NOTES:

- ALL WORK TO BE PERFORMED WITHIN THE STATE HIGHWAY RIGHT OF WAY (R.O.W.) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AUGUST 2023 EDITION WITH ALL REVISIONS. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED OCTOBER 2022) WITH ALL REVISIONS.
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PLAN VIEW

GRAPHIC SCALE

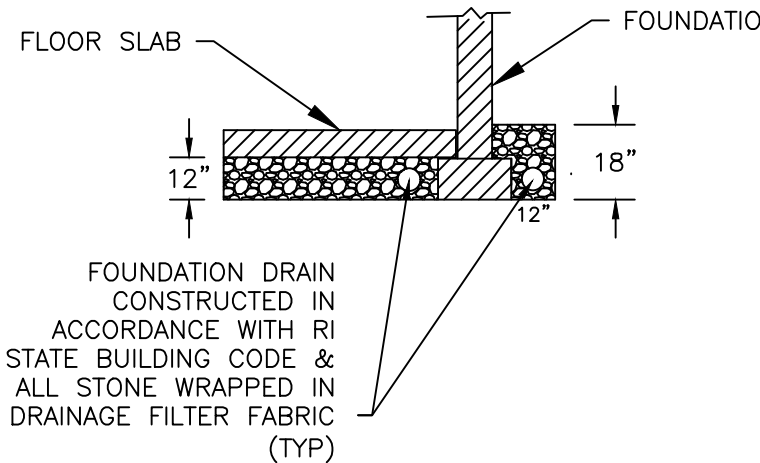


CONSTRUCTION NOTE:

- THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

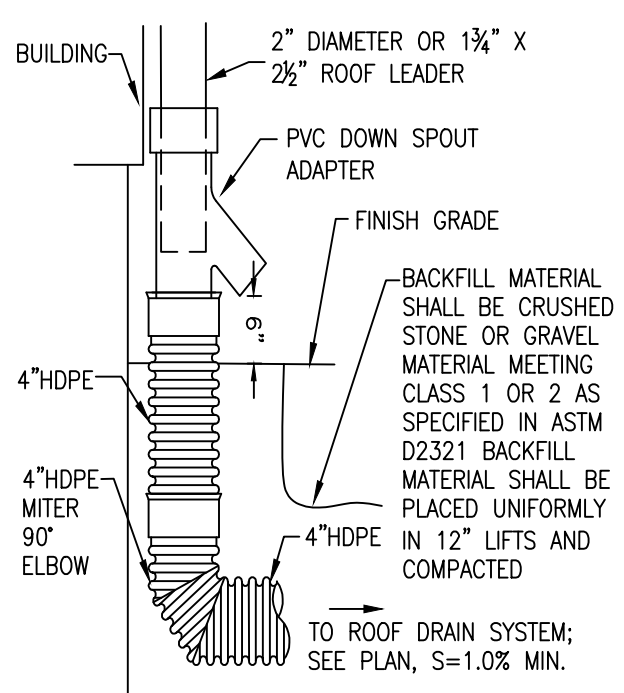
LEGEND

- — — — — PARCEL PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- - - - - EXISTING RIGHT OF WAY LINE
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- - - - - EXISTING GAS LINE
- - - - - EXISTING WATER LINE
- - - - - EXISTING SEWER LINE
- - - - - GAS VALVE BOX
- - - - - WATER VALVE BOX
- - - - - CURB STOP
UP-297 UTILITY POLE AND NUMBER
SMH EXISTING SEWER MANHOLE
COM-MH EXISTING COMMUNICATIONS MANHOLE
DMH DRAINAGE MANHOLE
DI/CB CATCH BASIN OR DROP INLET
X39.50 EXISTING SPOT GRADE
40 PROPOSED CONTOUR LINE
X39.50 PROPOSED SPOT GRADE
- - - - - EXISTING GUARD RAIL
- - - - - PROPOSED WATER LINE
- - - - - PROPOSED SEWER LINE
- - - - - BUILDING SETBACK LINE
FIRE HYDRANT
MW MONITORING WELL
EX. CHAIN LINK FENCE (HEIGHT VARIES)
PROPOSED CHAIN LINK FENCE
PERIMETER EROSION CONTROLS
(COMPOST FILTER SOCK)
TH-5 TEST HOLE LOCATION
BWV BACKWATER VALVE
CO CLEANOUT
FD PROPOSED ROOF DRAIN
RD PROPOSED FOUNDATION DRAIN



FOUNDATION DRAIN

NOT TO SCALE



ROOF LEADER DETAIL

NOT TO SCALE

NOTE:
FOR PIPE BELOW A PAVED SURFACE, A MIN. OF 12"
OF BACKFILL MATERIAL IS REQUIRED OVER THE TOP
OF THE PIPE CROWN MEASURED FROM THE BOTTOM
OF THE PAVEMENT. PIPE UNDER PAVEMENT SHALL
BE SDR35 OR APPROVED EQUAL AND BEDDED IN 3"
CRUSHED STONE, 8" MIN. AROUND PIPE.

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

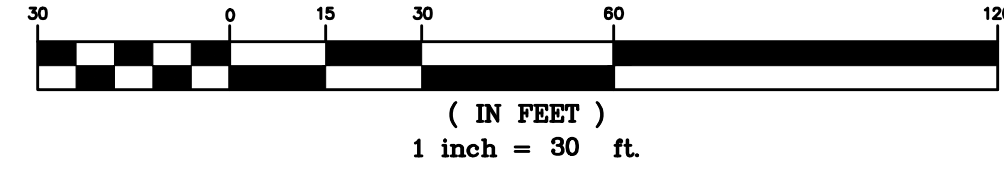
LEGAL COUNCIL:
MR. THOMAS CRONIN, ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

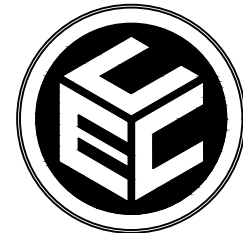
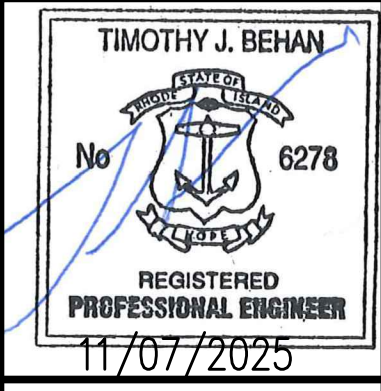
- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR
CONSTRUCTION SHALL BE USED FOR
CONSTRUCTION

PLAN VIEW

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT

FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED ROOF & FOUNDATION DRAIN PLAN

SCALE: 1" = 30'		SHEET NO: 11 OF 20	
DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB	
DATE: MARCH 27, 2025		PROJECT NO.: 25024.00	

REVISIONS				
No.	DATE	DRWN	CHKD	
1	07-29-25	SMA	TJB	
2	07-31-25	SMA	TJB	
3	09-02-25	SMA	TJB	
4	09-11-25	SMA	TJB	
5	11-07-25	SMA	TJB	

LEGEND

- Parcel Property Line
Adjacent Property Line
Existing Right of Way Line
Existing Major Contour
Existing Minor Contour
Existing Gas Line
Existing Water Line
Existing Sewer Line
Gas Valve Box
Water Valve Box
Curb Stop
Utility Pole and Number
Existing Sewer Manhole
Existing Communications Manhole
Drainage Manhole
Catch Basin or Drop Inlet
Existing Spot Grade
Proposed Contour Line
Proposed Spot Grade
Existing Guard Rail
Proposed Water Line
Proposed Sewer Line
Building Setback Line
Fire Hydrant
Monitoring Well
Ex. Chain Link Fence (Height Varies)
Proposed Chain Link Fence
Perimeter Erosion Controls (Compost Filter Sock)
Test Hole Location
Backwater Valve
Cleanout
Proposed Roof Drain
Proposed Foundation Drain

ESTIMATED PROPOSED DAILY DESIGN WASTEWATER FLOWS PER RIDEM REGULATIONS			
TYPE	DESIGN FLOW	DESIGN UNITS	DESIGN FLOW
BEDROOMS	115 GAL/BEDROOM/DAY	32	3,680
EMPLOYEE	15 GAL/EMPLOYEE/DAY	0	0
WASHING MACHINE	500 GAL/MACHINE/DAY	0	0
TOTAL ESTIMATED MAXIMUM DAILY DESIGN FLOW (GAL)			3,680

SEWER LATERAL SUMMARY TABLE						
BUILDING	CONNECTION STATION	TOP SEWER MAIN AT LATERAL CONNECTION (FT)	LATERAL INVERT ELEVATION AT SEWER MAIN WITH 2% SLOPE	LATERAL LENGTH	LATERAL INVERT AT BUILDING (FT)	BASEMENT SLAB (FT)
A & B	2+71.65	244.38	250.31	34.50	251.00	253.50
C & D	2+09.35	245.01	250.27	36.50	251.00	253.50
E & F	1+39.50	245.79	249.98	36.00	250.70	253.20
G & H	0+92.60	246.26	248.26	41.80	249.10	251.60
I & J	0+28.50	246.90	249.52	49.00	250.50	249.50
K & L	2+41.60	244.68	246.89	30.50	247.50	250.00
M & N	1+73.30	245.38	246.88	31.00	247.50	250.00
O & P	0+30.90	246.90	248.84	33.00	249.50	248.50

NOTE: USE EITHER STANDARD HOUSE CONNECTION-WEST WARWICK SEWER AUTHORITY DETAIL WW-14 OR STANDARD DEEP HOUSE CONNECTION-WEST WARWICK SEWER AUTHORITY DETAIL

WATER LATERAL SUMMARY TABLE				
BUILDING	CONNECTION STATION	1-INCH LATERAL LENGTH (FT)	LATERAL INVERT AT BUILDING (FT)	BASEMENT SLAB (FT)
A & B	2+59.50	13.0	254.50	253.50
C & D	1+96.30	14.0	254.50	253.50
E & F	1+51.10	13.1	254.20	253.20
G & H	0+81.60	16.5	252.60	251.60
I & J	0+36.30	18.5	250.50	249.50
K & L	2+28.66	52.5	251.00	250.00
M & N	1+57.72	55.5	251.00	250.00
O & P	0+43.00	60.0	249.50	248.50

DOMESTIC WATER DEMANDS:609

AS PER THE KENT COUNTY RULES & REGULATIONS, PART III:

ASSUME: -100 GPD PER PERSON
-2 PERSONS PER BEDROOM
-2 BEDROOMS PER UNIT
-16 UNITS
-MAXIMUM DAY MULTIPLIER = 2.0

PROPOSED AVERAGE DAILY FLOW:
(100 GPD/PERSON)*(2 PERSONS/BEDROOM)*(2 BEDROOMS/UNIT)*(16 UNITS) = 6,400 GPD

PROPOSED MAXIMUM DAILY FLOW:
(100 GPD/PERSON)*(2 PERSONS/BEDROOM)*(2 BEDROOMS/UNIT)*(16 UNITS)*2.0 = 12,800 GPD

PROPOSED PEAK HOURLY FLOW:
(100 GPD/PERSON)*(2 PERSONS/BEDROOM)*(2 BEDROOMS/UNIT)*(16 UNITS)*5.71/ = 1523 GPH

PEAK HOUR FACTOR: "TR-16 GUIDES FOR THE DESIGN OF WASTEWATER TREATMENT WORKS" FIGURE 2.1 "RATIO OF EXTREME FLOW TO AVERAGE DAILY FLOW"

WATER SYSTEM CONSTRUCTION NOTES:

- SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL OF ENTIRE MASTER METER ENCLOSURE, ASSEMBLY AND HEATING SYSTEM. SHOP DRAWINGS TO BE STAMPED BY A R.I. PROFESSIONAL ENGINEER AND APPROVED BY THE KCWA.
- INSTALL MASTER METER ENCLOSURE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PROVIDE NON-CORROSIVE SUPPORTS FOR RPZ AND METER, CONCRETE OR EQUAL.
- ALL LATERALS SHALL BE 1-INCH COPPER TYPE K.
- PROVIDE 12" COPPER WHIPS INTO/OUT OF STRUCTURE. SERVICE PIPE SHALL BE SLEEVED IN 4" HDPE FLEXIBLE PIPE THROUGH CONCRETE SLAB. 4" SLEEVE SHALL EXTEND TO FROST DEPTH OF 4'-6".
- ENCLOSURE SHALL BE MANUFACTURED TO PREVENT FREEZING TEMPERATURES WITHIN ENCLOSURE WHEN OUTSIDE TEMPERATURES DROP TO -20°F.
- ENCLOSURE SHALL BE DESIGNED WITH "FLIP TOPS" FOR EASY ACCESS AND MAINTENANCE.
- ENCLOSURE SHALL BE DESIGNED WITH "BLOW OUT PANELS" TO ACCOMMODATE RPZ FLOW RATES OF 300 GPM.
- ENCLOSURE SHALL BE MANUFACTURED BY HOTEBOX OR EQUAL.

RIDOT R.O.W. NOTES:

- ALL WORK TO BE PERFORMED WITHIN THE STATE HIGHWAY RIGHT OF WAY (R.O.W.) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AUGUST 2023 EDITION WITH ALL REVISIONS. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED OCTOBER 2022) WITH ALL REVISIONS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.
- CONTRACTOR MUST SUBMIT AN APPLICATION AND APPLY FOR SEPARATE UTILITY PERMIT FOR ALL UTILITY WORK TO BE PERFORMED IN THE RIDOT R.O.W. THE APPROVAL OF THE PAPA IS NOT A SUBSTITUTE FOR A UTILITY PERMIT AND APPROVAL OF THE PAPA DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UNSHOWN, WITHIN THE STATE R.O.W..
- AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.

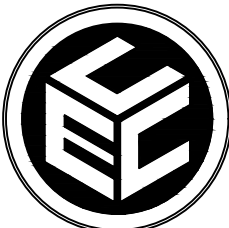
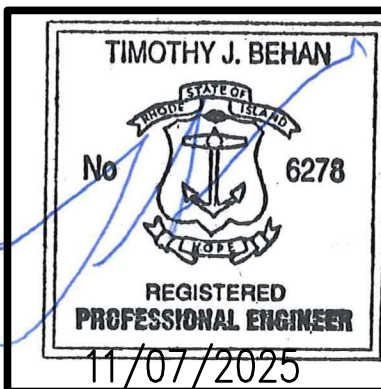
OWNER:
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ATTORNEY REPRESENTING OWNER:
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DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



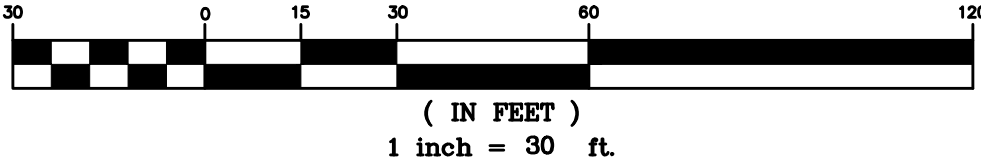
COMMONWEALTH
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PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED UTILITY PLAN

SCALE: 1" = 30'
SHEET NO: 8 OF 20
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: MARCH 27, 2025 PROJECT NO.: 25024.00

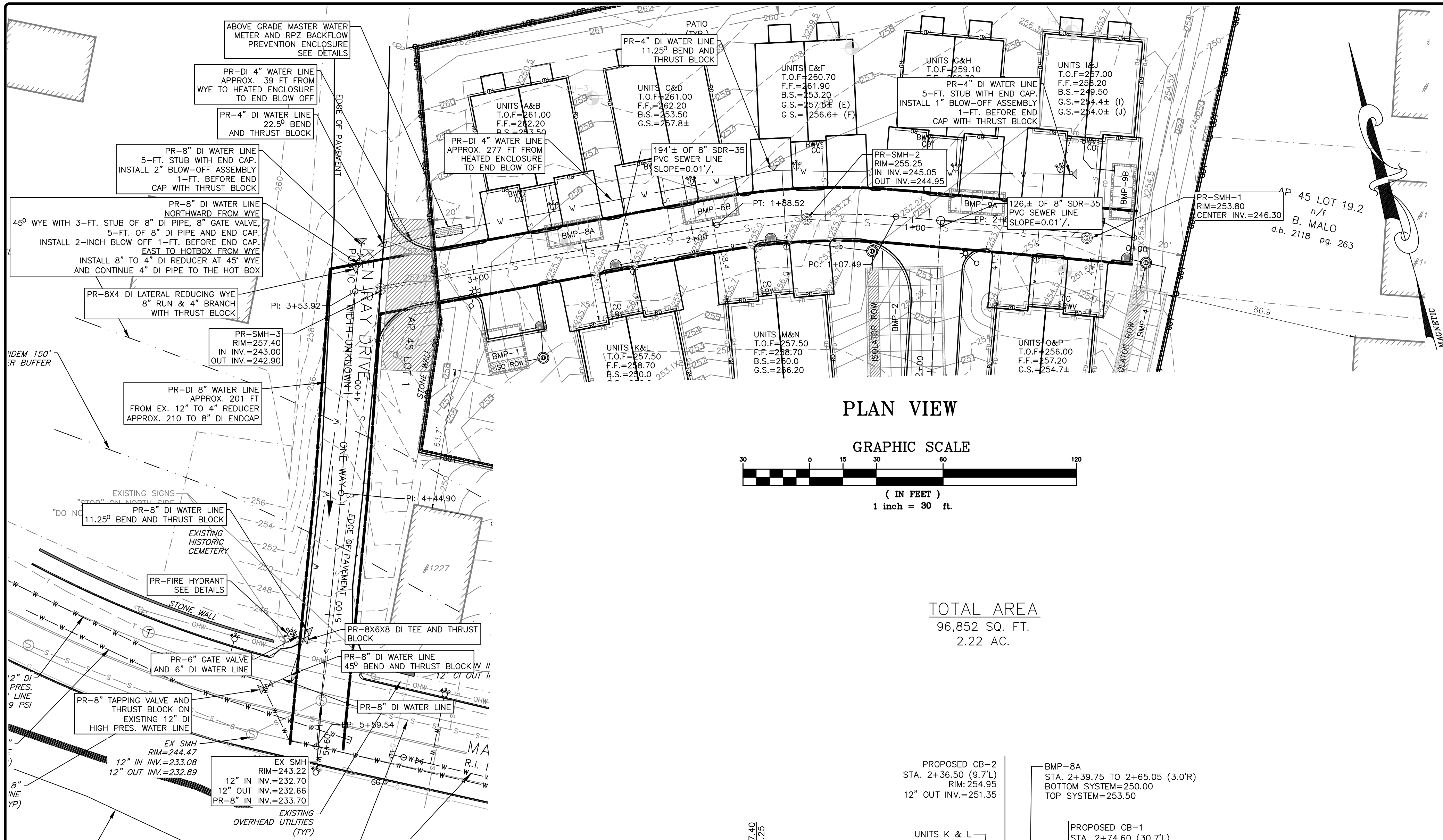
PLAN VIEW

GRAPHIC SCALE



CONSTRUCTION NOTE:

- THE CONTRACTOR SHALL CONTACT "DIGSAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



RIDOT R.O.W. NOTES:

- ALL WORK TO BE PERFORMED WITHIN THE STATE HIGHWAY RIGHT OF WAY (R.O.W.) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AUGUST 2023 EDITION WITH ALL REVISIONS. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED OCTOBER 2022) WITH ALL REVISIONS.
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- AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.

CONSTRUCTION NOTE:

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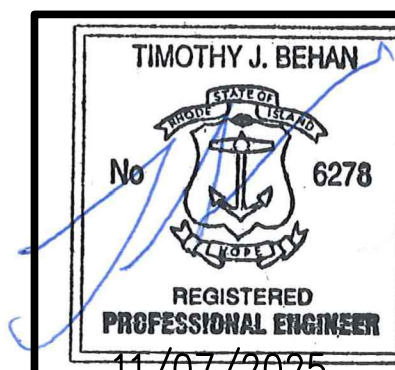
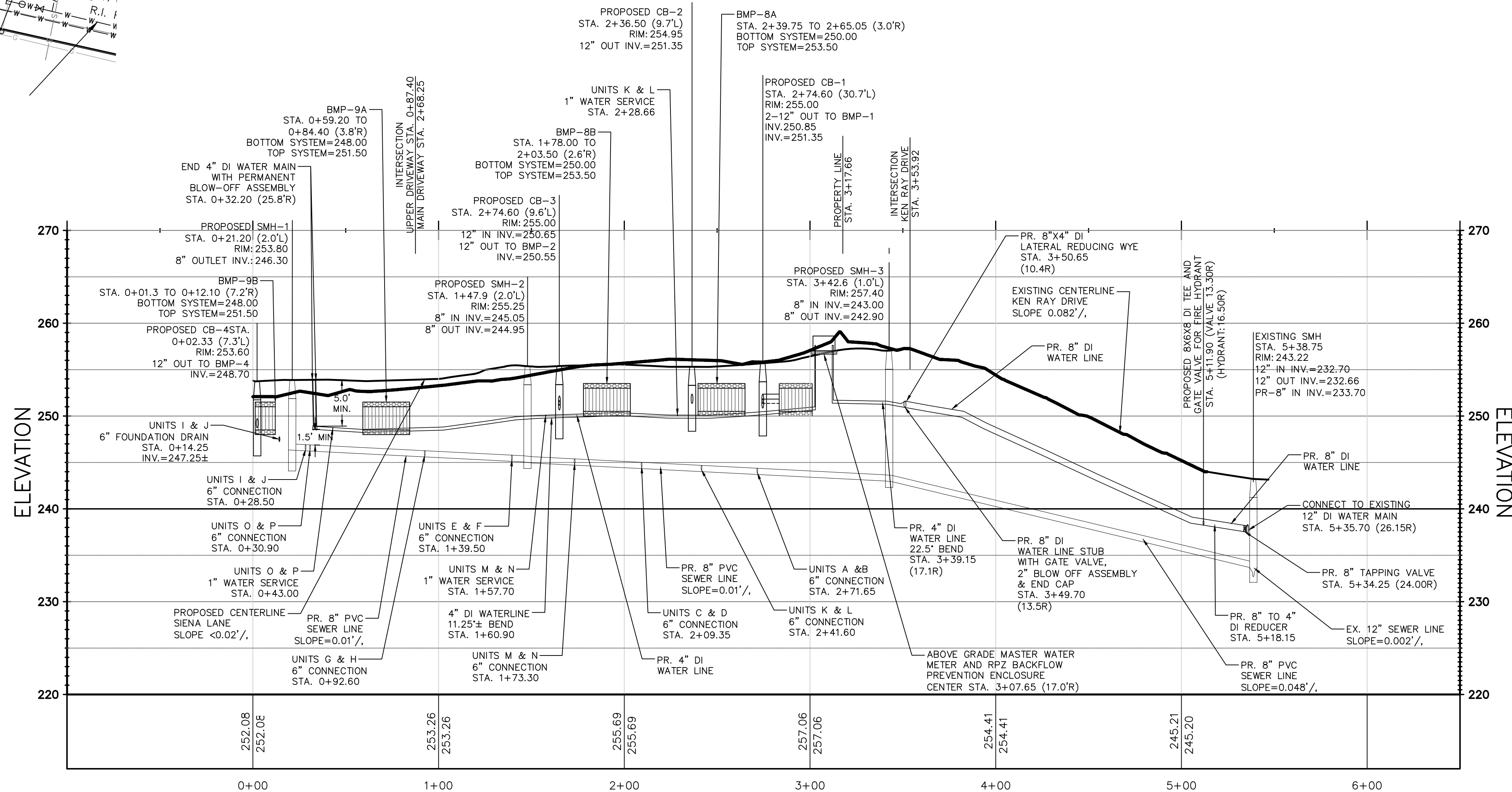
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COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401) 732-9300

APPLICANT:
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PATRICK CZERWIEN, MANAGER
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DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



REVISIONS

No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
3	09-02-25	SMA	TJB
4	09-11-25	SMA	TJB
5	11-07-25	SMA	TJB



PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT FOR SIENA CONDOMINIUMS A.P. 45 LOTS 10, 11, 12 & 13 MAIN STREET COVENTRY, RHODE ISLAND PROPOSED ROADWAY PROFILE-1

SCALE:	AS SHOWN	SHEET NO:	9 OF 20
DRAWN BY:	SMA	DESIGN BY:	SMA
CHECKED BY:	TJB		
DATE:	MARCH 27, 2025	PROJECT NO.:	25024.00



PLAN VIEW

GRAPHIC SCALE



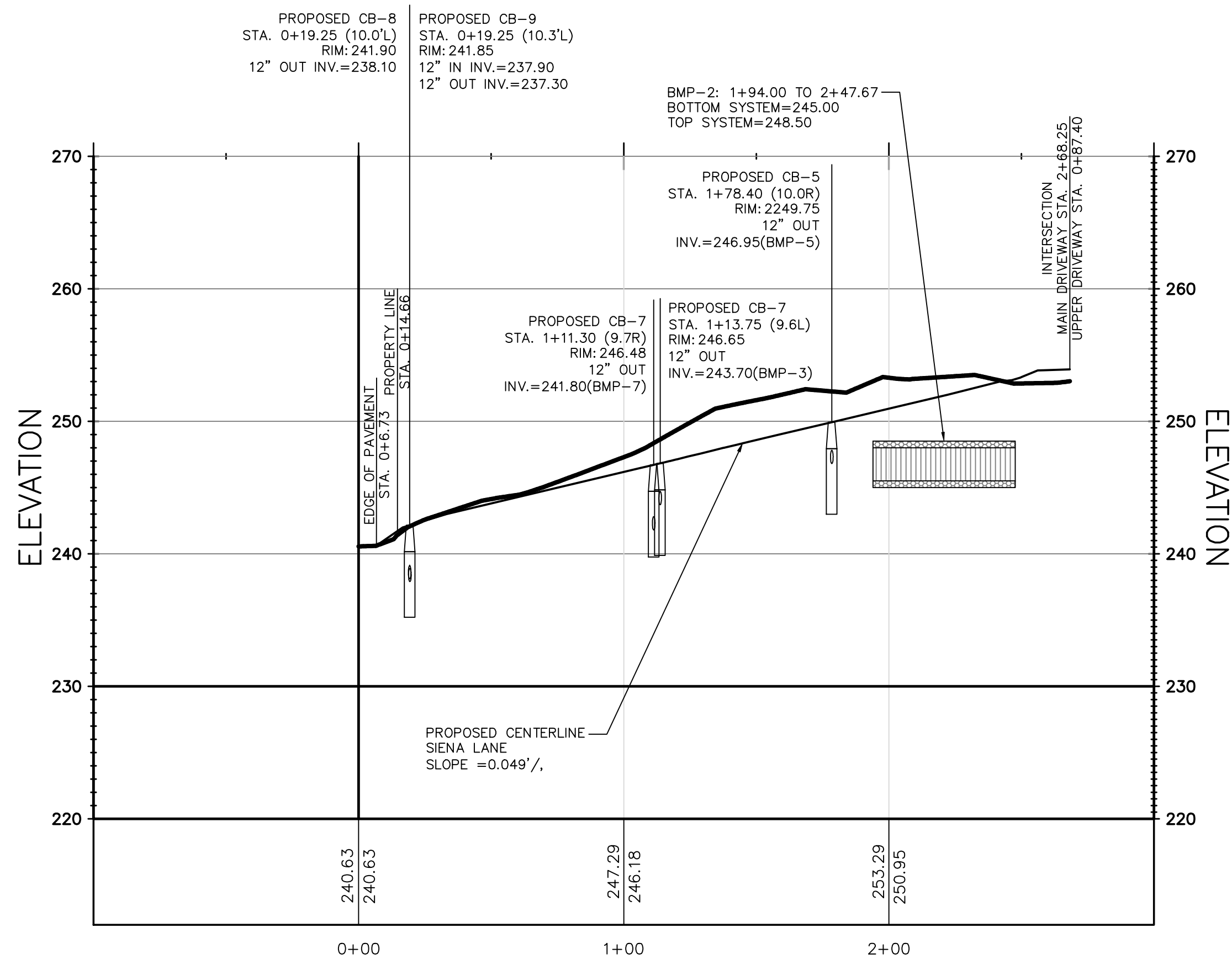
(IN FEET)
1 inch = 30 ft.

RIDOT R.O.W. NOTES:

- ALL WORK TO BE PERFORMED WITHIN THE STATE HIGHWAY RIGHT OF WAY (R.O.W.) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AUGUST 2023 EDITION WITH ALL REVISIONS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.
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- AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.

CONSTRUCTION NOTE:

- THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



MAIN DRIVEWAY PROFILE

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 8'

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

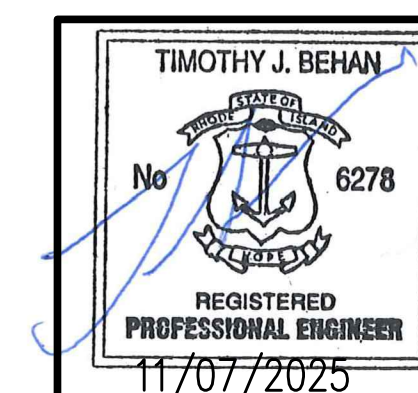
APPLICANT:
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PATRICK CZERWIEN, MANAGER
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DRAWING ISSUE:

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☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR
CONSTRUCTION SHALL BE USED FOR
CONSTRUCTION



PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED ROADWAY PROFILE-2

SCALE: AS SHOWN SHEET NO: 10 OF 20
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: MARCH 27, 2025 PROJECT NO.: 25024.00

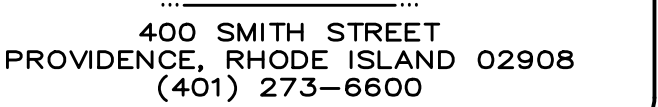
REVISIONS				
No.	DATE	DRWN	CHKD	
1	07-29-25	SMA	TJB	
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5	11-07-25	SMA	TJB	

	PARCEL PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	GAS VALVE BOX
	WATER VALVE BOX
	CURB STOP
	UTILITY POLE AND NUMBER
	EXISTING SEWER MANHOLE
	EXISTING COMMUNICATIONS MANHOLE
	DRAINAGE MANHOLE
	CATCH BASIN OR DROP INLET
	EXISTING SPOT GRADE
	PROPOSED CONTOUR LINE
	PROPOSED SPOT GRADE
	EXISTING GUARD RAIL
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	BUILDING SETBACK LINE
	FIRE HYDRANT
	MONITORING WELL
	EX. CHAIN LINK FENCE (HEIGHT VARIES)
	PROPOSED CHAIN LINK FENCE
	PERIMETER EROSION CONTROLS (COMPOST FILTER SOCK)
	TEST HOLE LOCATION
	BACKWATER VALVE
	CLEANOUT
	PROPOSED ROOF DRAIN
	PROPOSED FOUNDATION DRAIN

ONLY PLANS ISSUED FOR
CONSTRUCTION SHALL BE USED FOR
CONSTRUCTION

1. SOME STRUCTURES MAY REQUIRE SHALLOW FRAMES (4-INCH HEIGHT).
2. SHALLOW FRAMES TO BE MECHANICALLY FASTENED (BOLTED) TO STRUCTURES.
3. MOST STRUCTURES REQUIRE FLAT TOPS.
4. ALL CATCH BASINS SHALL HAVE 3-FOOT SUMPS MEASURED BELOW LOWEST INVERT.
5. SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR ALL DRAINAGE COMPONENTS.
6. ENGINEER SHALL INSPECT THE BOTTOM OF EACH INFILTRATION AREA PRIOR TO PLACEMENT OF CRUSHED STONE.
7. ENGINEER SHALL BE NOTIFIED A MIN. OF 24 HOURS BEFORE CONSTRUCTING ANY INFILTRATION SYSTEM OR UNDERGROUND LINED SAND FILTERS.
8. ALL FILL AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM BENEATH ALL INFILTRATION SYSTEMS.
9. ANY BACKFILL PLACED BELOW INFILTRATION SYSTEMS SHALL BE ASTM C-33 SAND.
10. SCOURY BOTTOM PRIOR TO PLACEMENT OF STONE OR ASTM C-33 SAND.
11. DO NOT ALLOW SEDIMENT LADEN RUNOFF TO ENTER SYSTEM.
12. INSTALL FABRIC DROP OR SILT SACK IN EACH NEW CATCH BASIN AS FRAME AND GRATE IS INSTALLED.

1. THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND

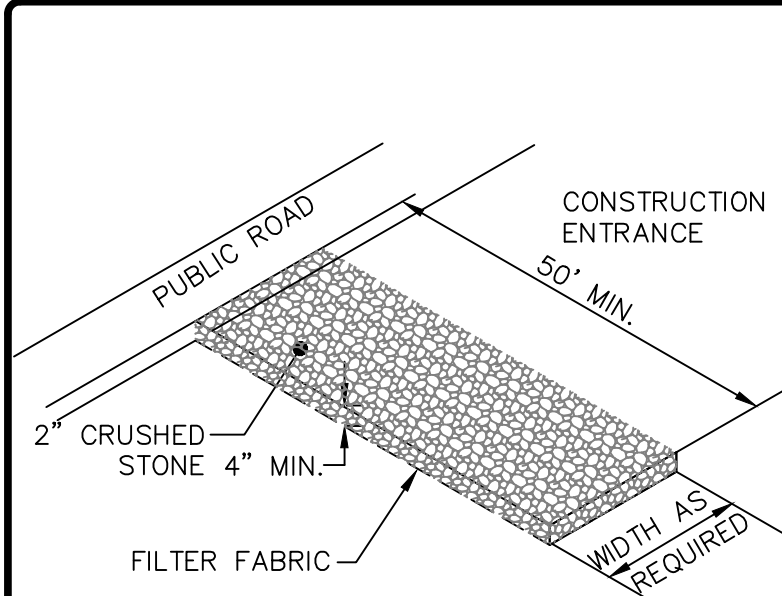
PROPOSED DRAINAGE PLAN

PROJECT NO.: 25024.00



(IN FEET)
1 inch = 30 ft.

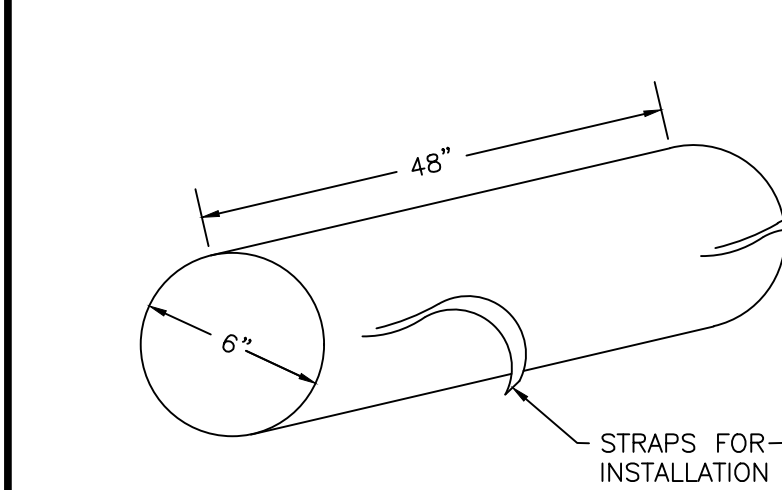
CONSTRUCTION NOTE:



MATERIALS SIZE			
SQUARE MESH SIEVES	2" CRUSHED STONE OR GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
	% FINER	% FINER	% FINER
2-1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1-1/2 INCHES	30-55	0-15	35-70
1-1/4 INCHES	0-25	-	-
1 INCH	0-5	-	0-15
3/4 INCH	-	0-5	-
1/2 INCH	-	-	0-5
3/8 INCH	-	-	-

NOTE: STABILIZATION PAD TO BE IN CONFORMANCE WITH STANDARDS SET FORTH IN THE "RHODE ISLAND GUIDELINES FOR SOIL & SEDIMENT CONTROL."

RIP-RAP STABILIZATION PAD @ CONSTRUCTION ENTRANCE



CURB INLET FILTER BY BMP SUPPLIES OR APPROVED EQUAL

CURB INLET PROTECTION

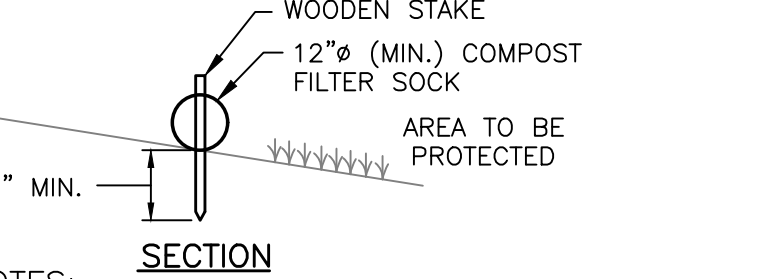
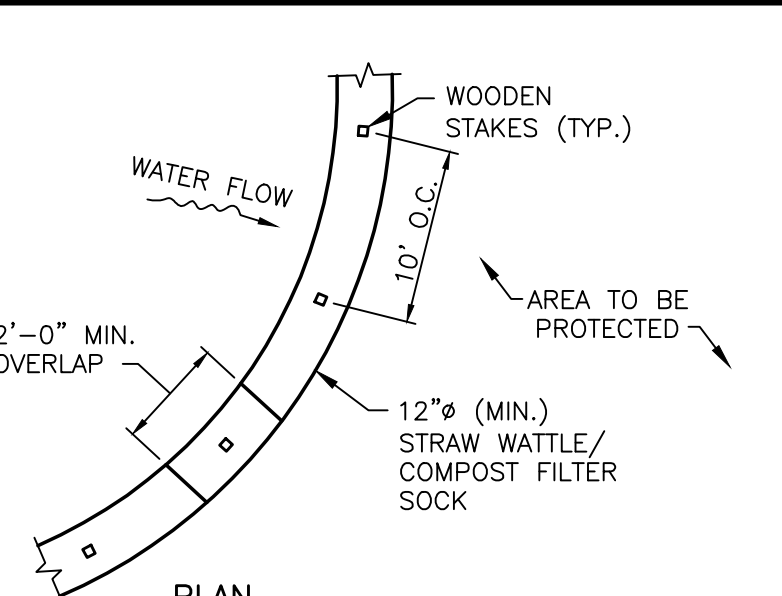
NOT TO SCALE

GENERAL EROSION CONTROL NOTES:

- THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE 2004 STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION WEB PAGE. THESE SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE CITY ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
- LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 48 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY, BUT NOT LIMITED TO, THE STATE OF RHODE ISLAND, THE FEDERAL GOVERNMENT, LOCAL (TOWN/CITY) GOVERNMENT AND ALL INDIVIDUAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS. ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL AREAS COMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED BY TILLING THE TOP 12" OF SOIL.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

- SURVEY AND STAKE LIMIT OF DISTURBANCE FOR PLACEMENT OF SEDIMENTATION CONTROL DEVICES.
- PLACE PERIMETER SEDIMENTATION CONTROL DEVICES (STRAW WATTLE OR COMPOST FILTER SOCK) IN NO CASE SHALL THE LIMIT OF WORK EXTEND BEYOND THE SEDIMENTATION CONTROL DEVICES.
- CONSTRUCT CONSTRUCTION ENTRANCE DEVICE 9.9.0.
- CEAR AND GRUB SITE, PERFORM DEMOLITION.
- CONSTRUCT UTILITIES (ELECTRIC, WATER, SEWER, ETC.) AND ROUGH GRADE PARKING AREA.
- EXCAVATE AND INSTALL BUILDING FOUNDATIONS, AND FLOOR SLABS.
- CONSTRUCTION BUILDING.
- INSTALL ASPHALT PARKING AREAS AND ADDITIONAL SITE IMPROVEMENTS.
- INSTALL LANDSCAPING. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH GRASS AT A MINIMUM.
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER A PERMANENT GROWTH OF VEGETATION IS ESTABLISHED.



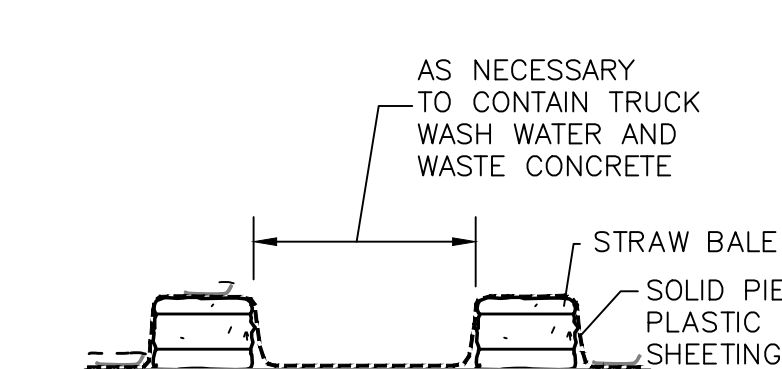
NOTES:

- ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 206 OF RI STANDARD SPECIFICATIONS.
- SUBMIT SHOP DRAWING OF COMPOST MATERIAL FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
- COMPOST FILTER SOCK IS AN APPROVED "OR EQUAL" TO COMPOST FILTER BERM WHEN INSTALLED IN ACCORDANCE WITH THE TABLE BELOW:

MAXIMUM LENGTH ABOVE COMPOST FILTER SOCK (FEET) AND CORRESPONDING DIAMETER OF SOCK REQUIRED:				
UPGRADIENT SLOPE	8"	12"	18"	24"
2%	300'	375'	500'	650'
5%	200'	250'	275'	325'
10%	100'	125'	150'	200'
20%	50'	65'	70'	130'
30%	30'	40'	45'	85'
40%	30'	40'	45'	50'
50%	20'	25'	30'	35'

STRAW WATTLE/COMPOST FILTER SOCK

NOT TO SCALE

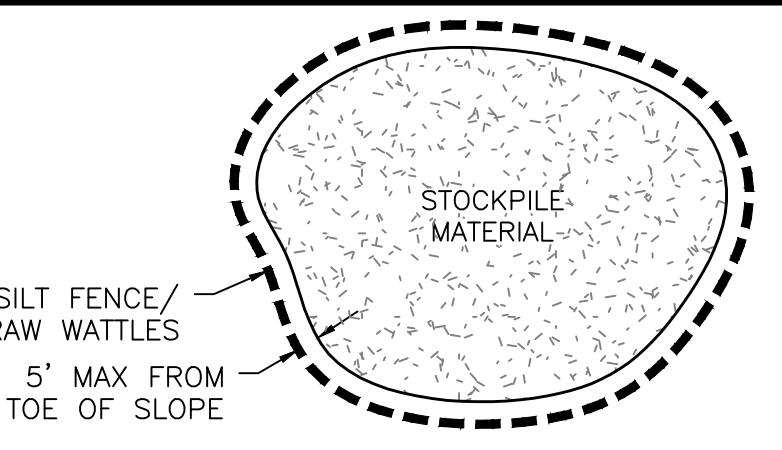


CONCRETE WASHOUT

NOT TO SCALE

EROSION CONTROL AND SOIL STABILIZATION PROGRAM:

- TEMPORARY TREATMENTS SHALL CONSIST OF A STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL STRAW BALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.20.01, AS AMENDED.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY. THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:
- SEEDING DATE
- CREeping RE FESCUE 70
- ASTORIA BENTGRASS 5
- BIRDFOOT TREEFOIL 15
- PERENNIAL REGRASS 10
- SEEDING DATE
- APRIL 1 - JUNE 15
- AUGUST 15 - OCT.
- APPLICATION RATE
- 100 LBS/ACRE
- LIMING AND FERTILIZING AS REQUIRED TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILE SHALL ALSO BE SEEDED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
- ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
- STOCKPILES SHALL HAVE NO SLOPE GREATER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED STRAW BALES OR SILT FENCE. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS OF TIME SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF PLANTING ANNUAL RYE GRASS OR PROTECTING WITH STRAW OR FIBER MATTING.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL STRAW BALES/SILT FENCE OR OTHER TREATMENTS SHALL BE PROVIDED AS DIRECTED BY ENGINEER, RIDEM OR LOCAL REPRESENTATIVES AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL INSPECT THE SOIL EROSION CONTROL DEVICES AFTER EVERY RAIN STORM EVENT AND EVERY 7 DAYS (WHICH EVER COMES FIRST). ANY SOIL MIGRATION PAST THE DEVICES SHALL BE REMOVED AND THE SOIL EROSION CONTROL DEVICES SHALL BE RE-ESTABLISHED TO PREVENT SOIL EROSION. ALL ACCUMULATED SEDIMENT IN FRONT OF THE DEVICES SHALL BE REMOVED AFTER EVERY RAIN STORM EVENT.
- ALL DISTURBED SOIL AREAS SHALL BE PROTECTED AGAINST SOIL EROSION BY PLACEMENT OF STRAW BALES AND/OR SILT FENCE ON THE DOWN GRADIENT SIDE OF THE DISTURBED AREA(S). SHOULD THE VOLUME AND/OR RATE OF STORMWATER RUNOFF BE TOO GREAT FOR A SINGLE DEVICE, THEN MULTIPLE DEVICES ARE REQUIRED SUCH AS SILT FENCE BACKED-UP WITH STRAW BALES. THESE ADDITIONAL DEVICES ARE NOT SHOWN ON THE PLAN BUT SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- AT THE END OF THE PROJECT ALL SEDIMENT IN MANHOLE SUMPS SHALL BE REMOVED.

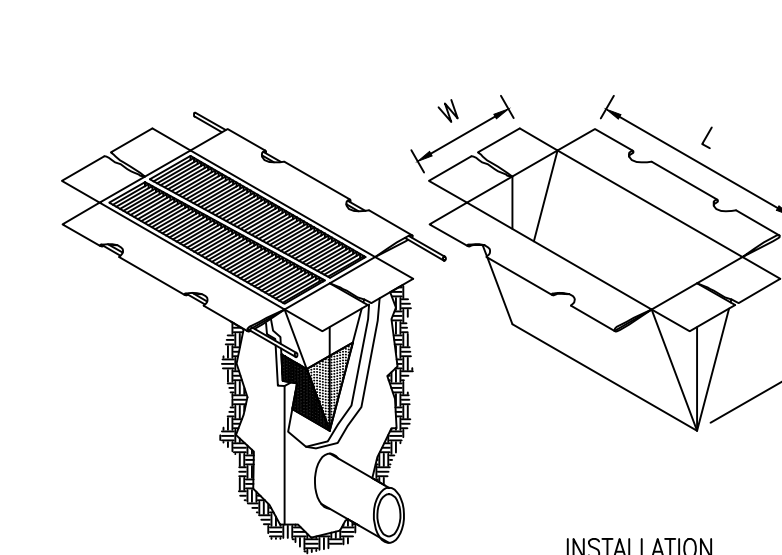


MATERIAL STOCKPILE DETAIL

NOT TO SCALE

STOCKPILE NOTES:

- COVERINGS MUST BE SECURED AND INSPECTED DAILY AND REPAIRED/REPLACED AS NEEDED.
- WORKING ENTRANCE TO STOCKPILE SHALL BE ON THE UP-GRADIENT SIDE OF THE STOCK PILE.
- PERIMETER EROSION CONTROLS SHALL BE INSPECTED DAILY AND REPAIRED/REPLACED AS NEEDED.
- CONTRACTOR TO DETERMINE STOCKPILE LOCATIONS.



INSTALLATION

- REMOVE DRAIN GRATE
- INSERT SILTSACK
- REMOVE FILLED SILTSACKS
- CLEAN AND REUSE

SILTSACK DETAIL

NOT TO SCALE

CONSTRUCTION NOTE:

- THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- OVERHEAD ELECTRIC AND TELECOMMUNICATION WIRES EXIST LESS THAN 4- FEET FROM EXISTING BUILDING.

CONSTRUCTING THE INFILTRATION PRACTICE LAST, CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE, AND THE CONTRIBUTING AREA IS STABILIZED. THE CONTRACTOR SHALL SUBMIT A PLAN TO THE TOWN (FOR APPROVAL) HOW SEDIMENT WILL BE PREVENTED FROM ENTERING THE SITE OF AN INFILTRATION FACILITY.

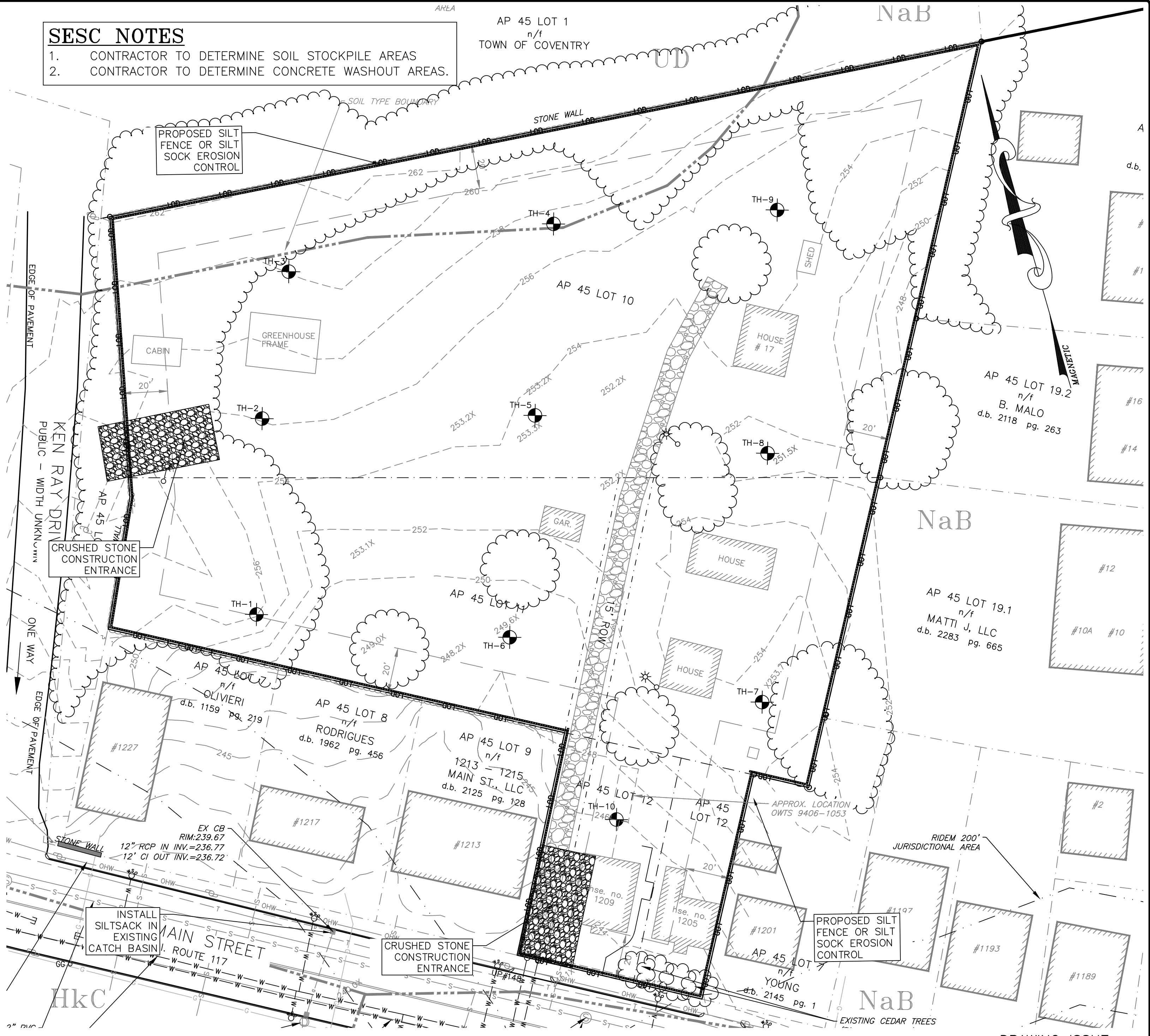
EXTREME CARE SHALL BE EXERCISED AS TO PREVENT ANY MATERIALS FROM ENTERING WETLANDS, THE ROADWAYS, ROADWAY DRAINAGE SYSTEMS, AND ADJACENT PROPERTY.

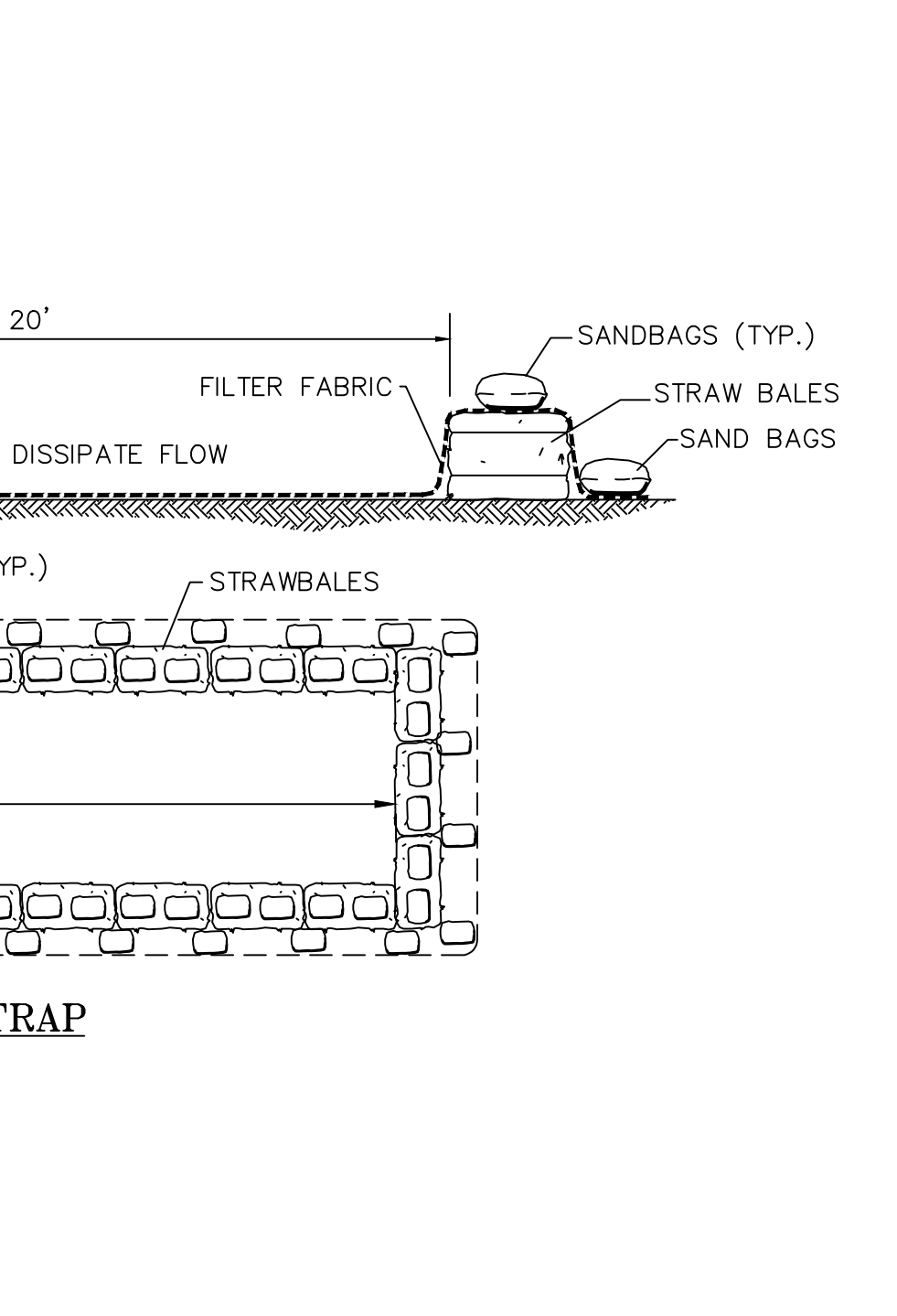
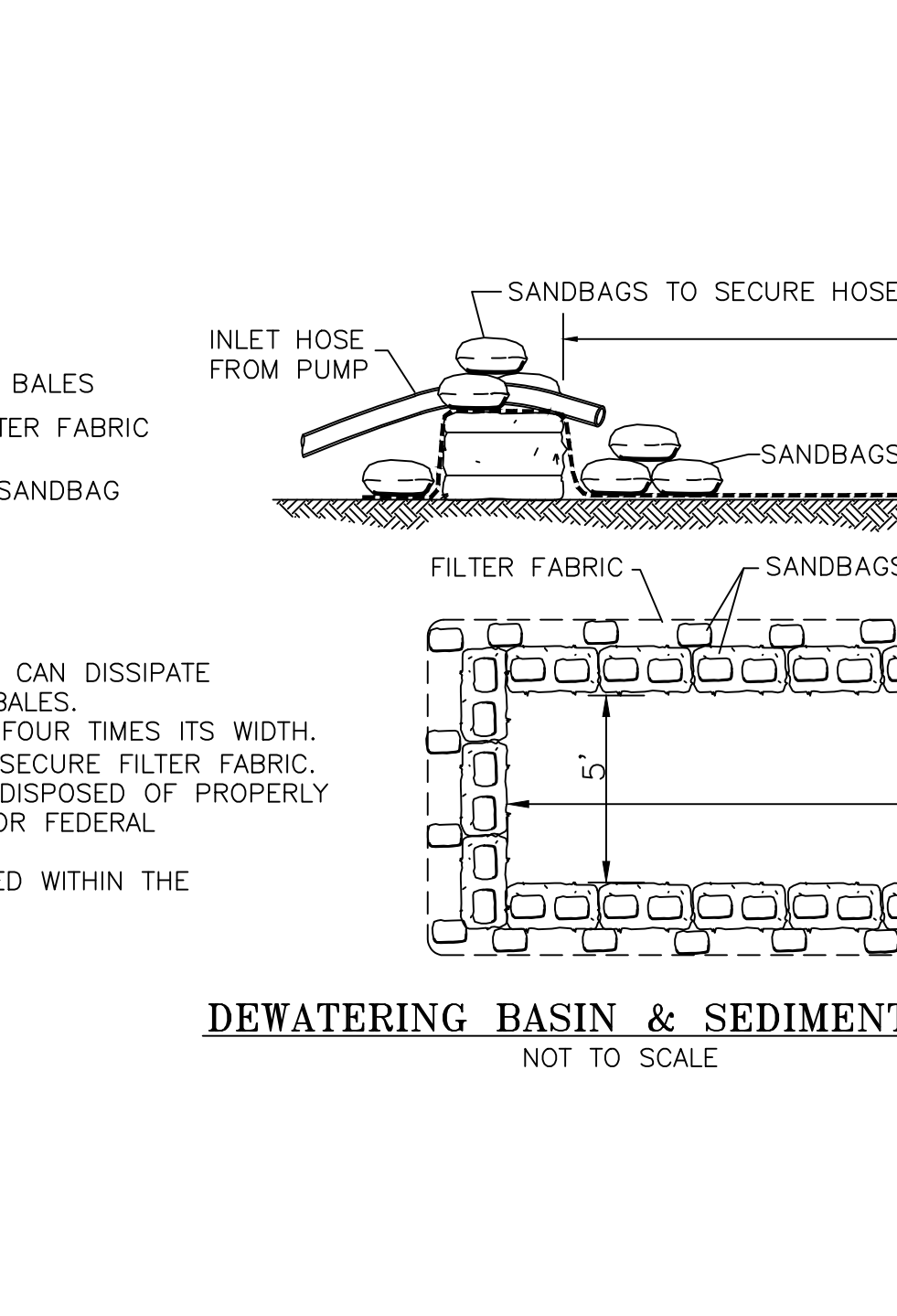
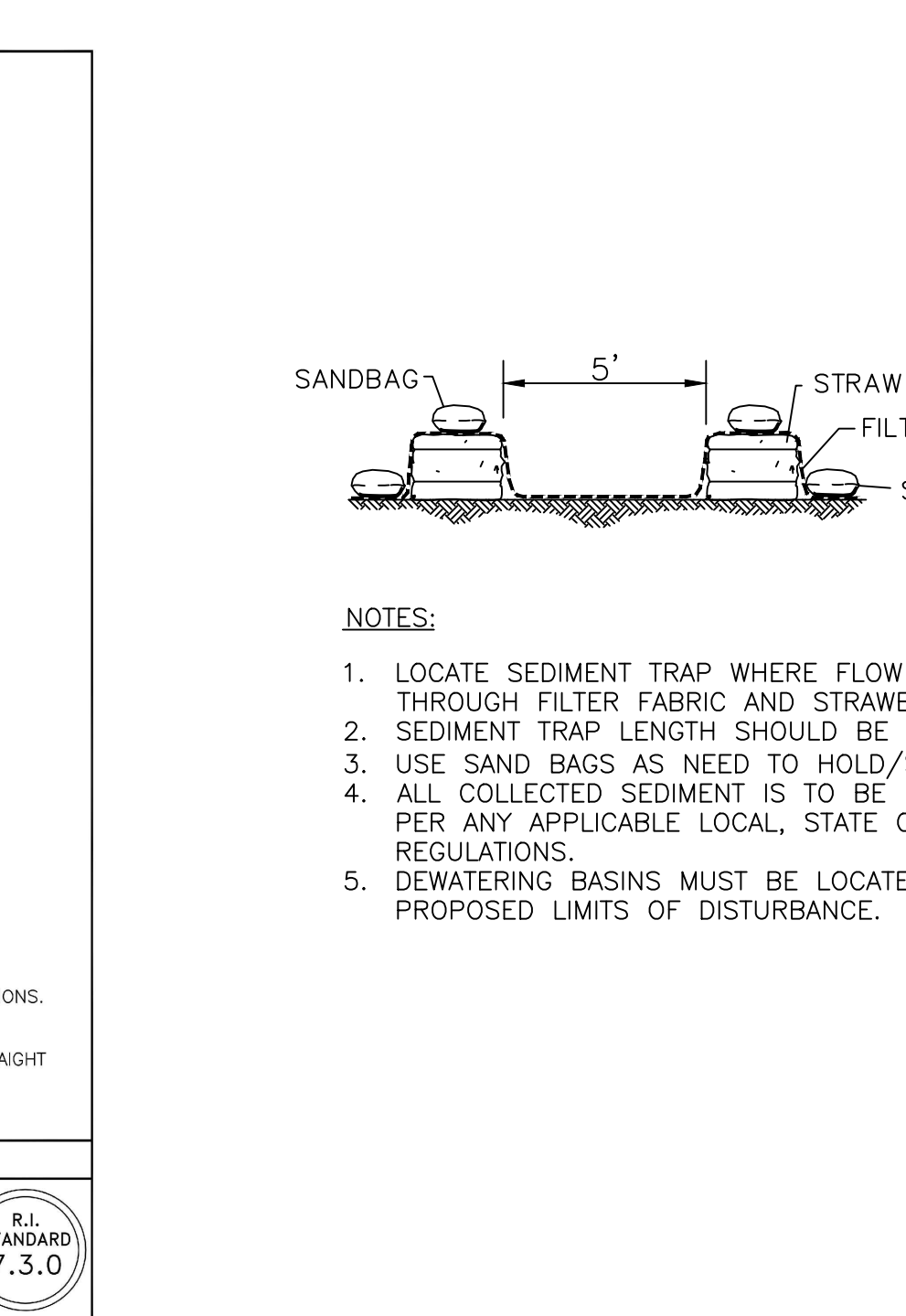
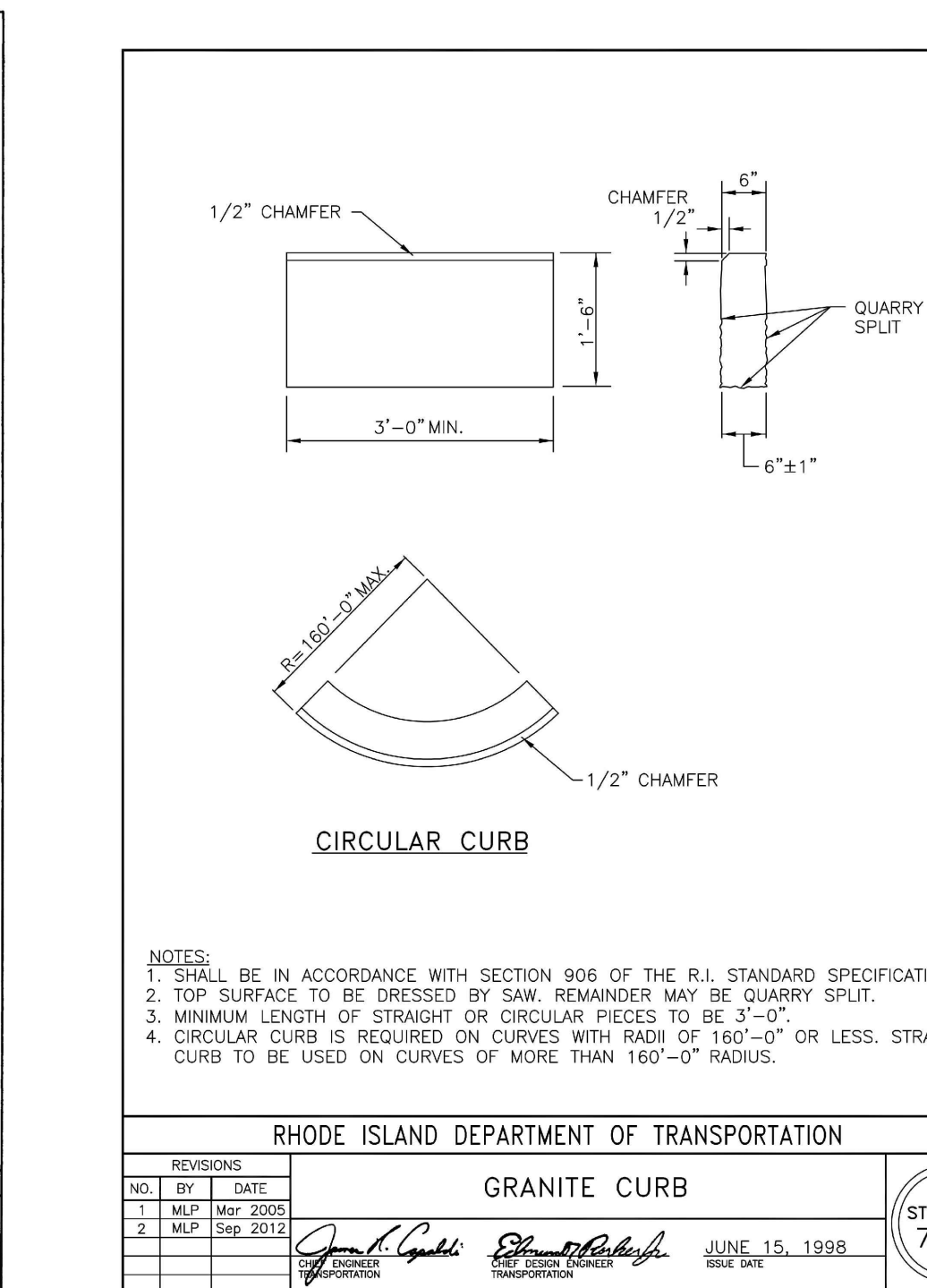
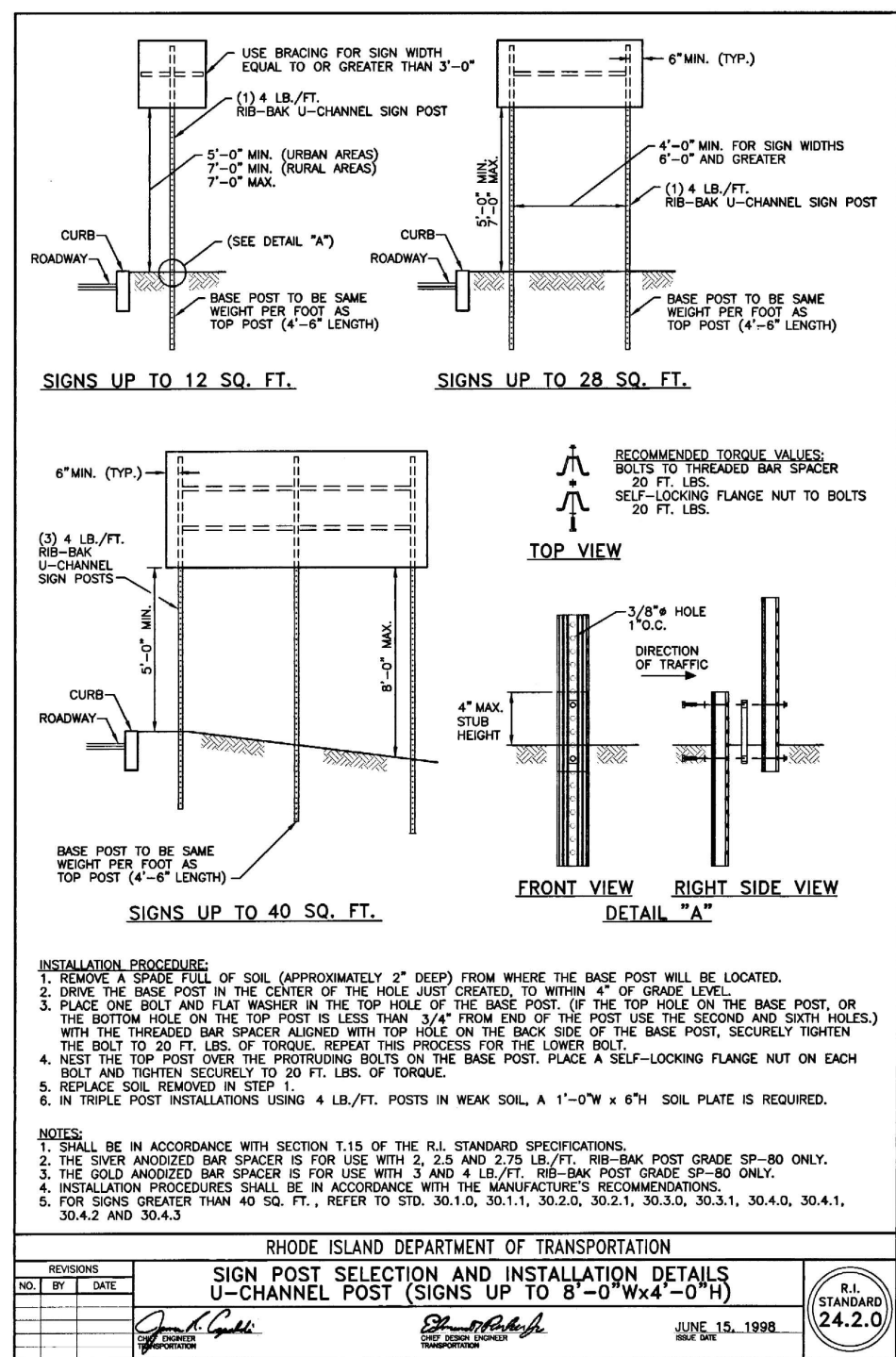
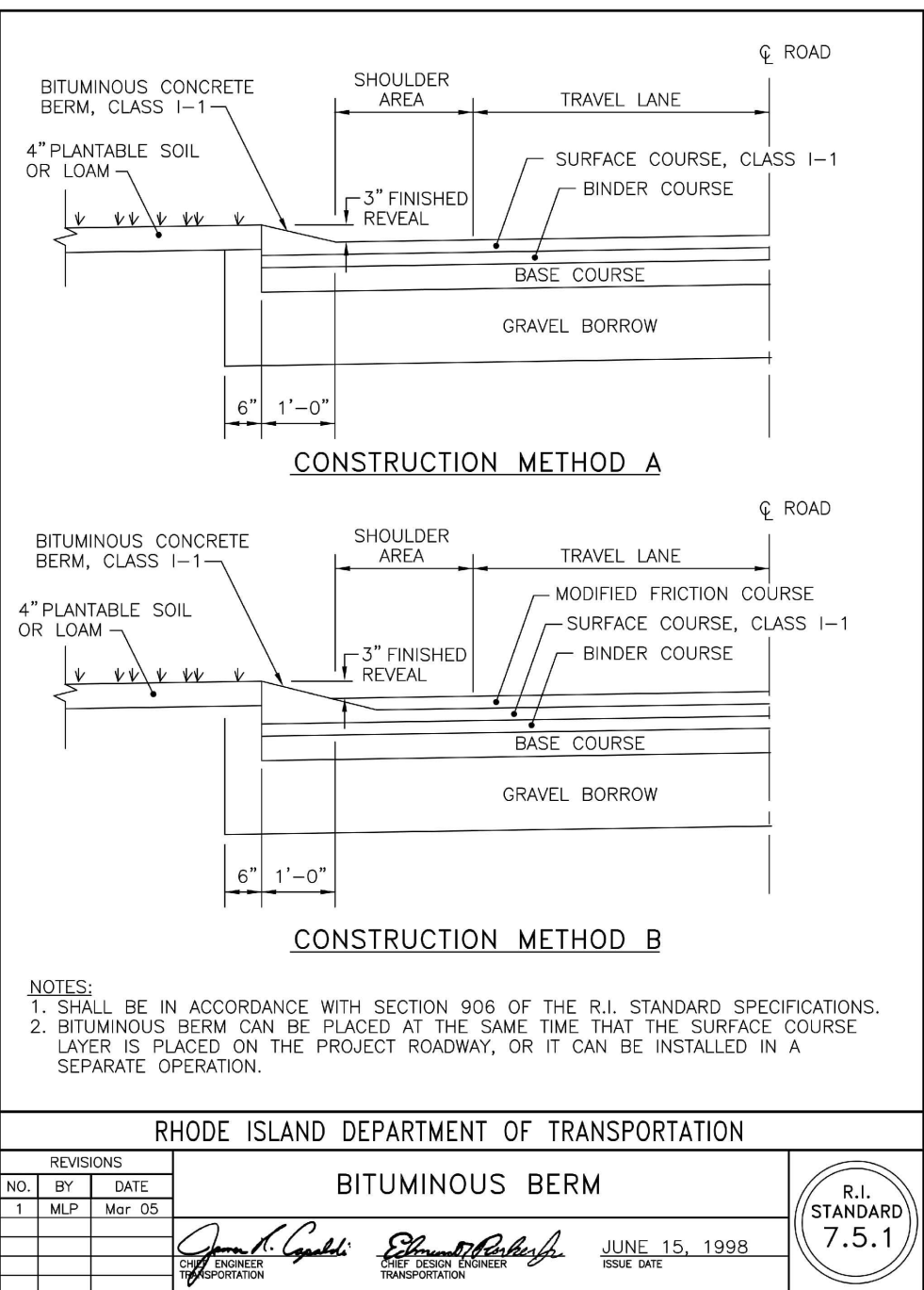
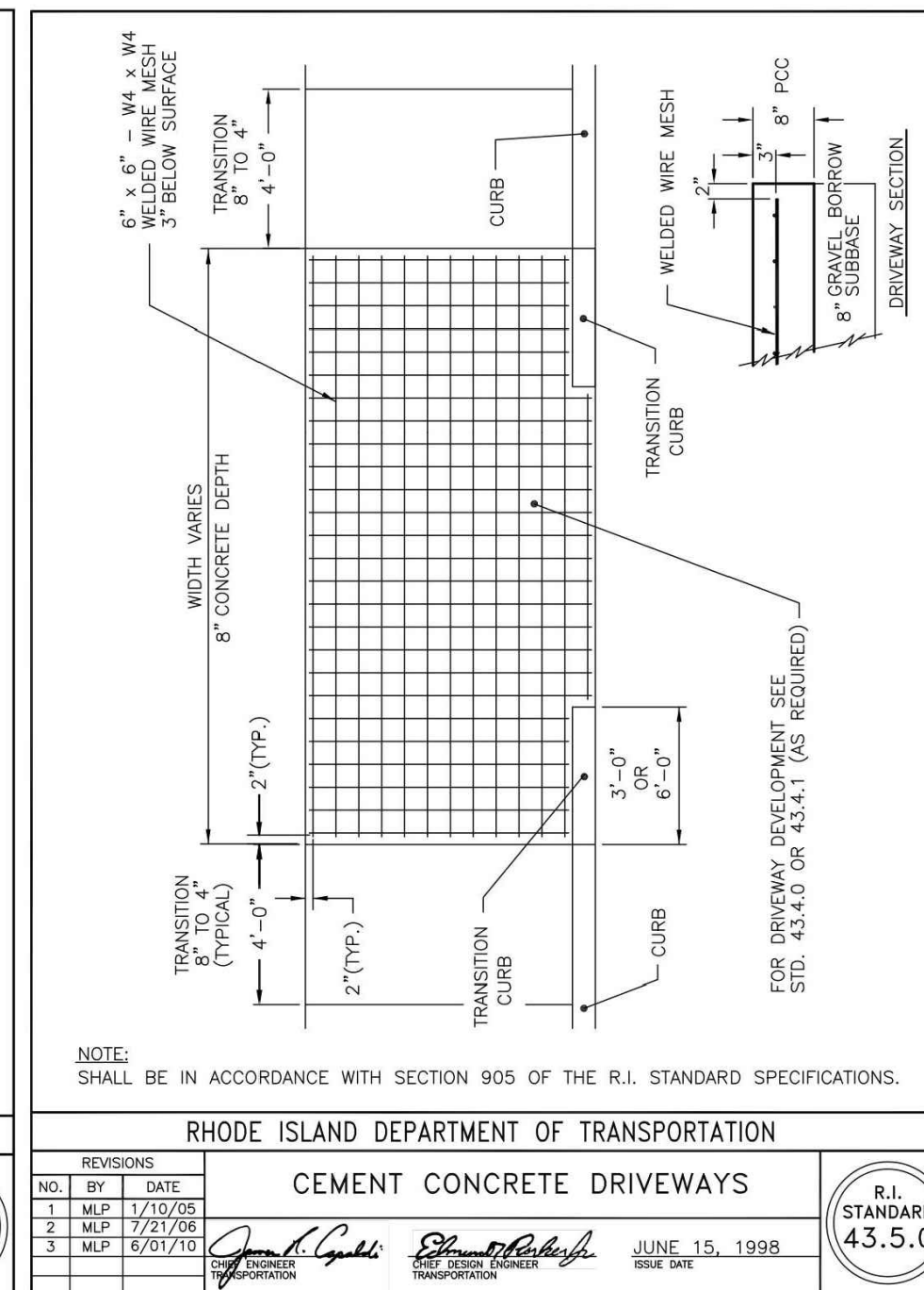
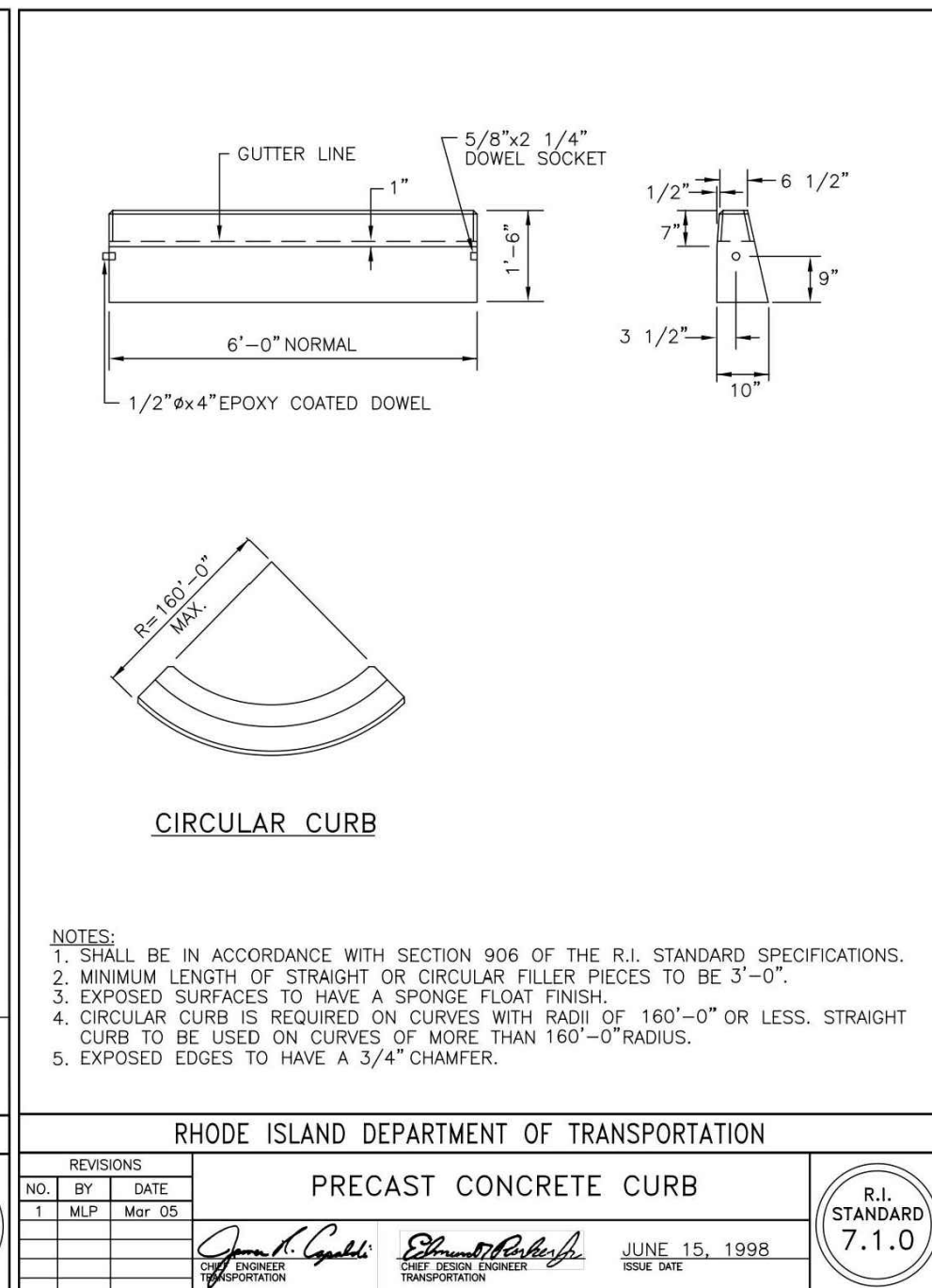
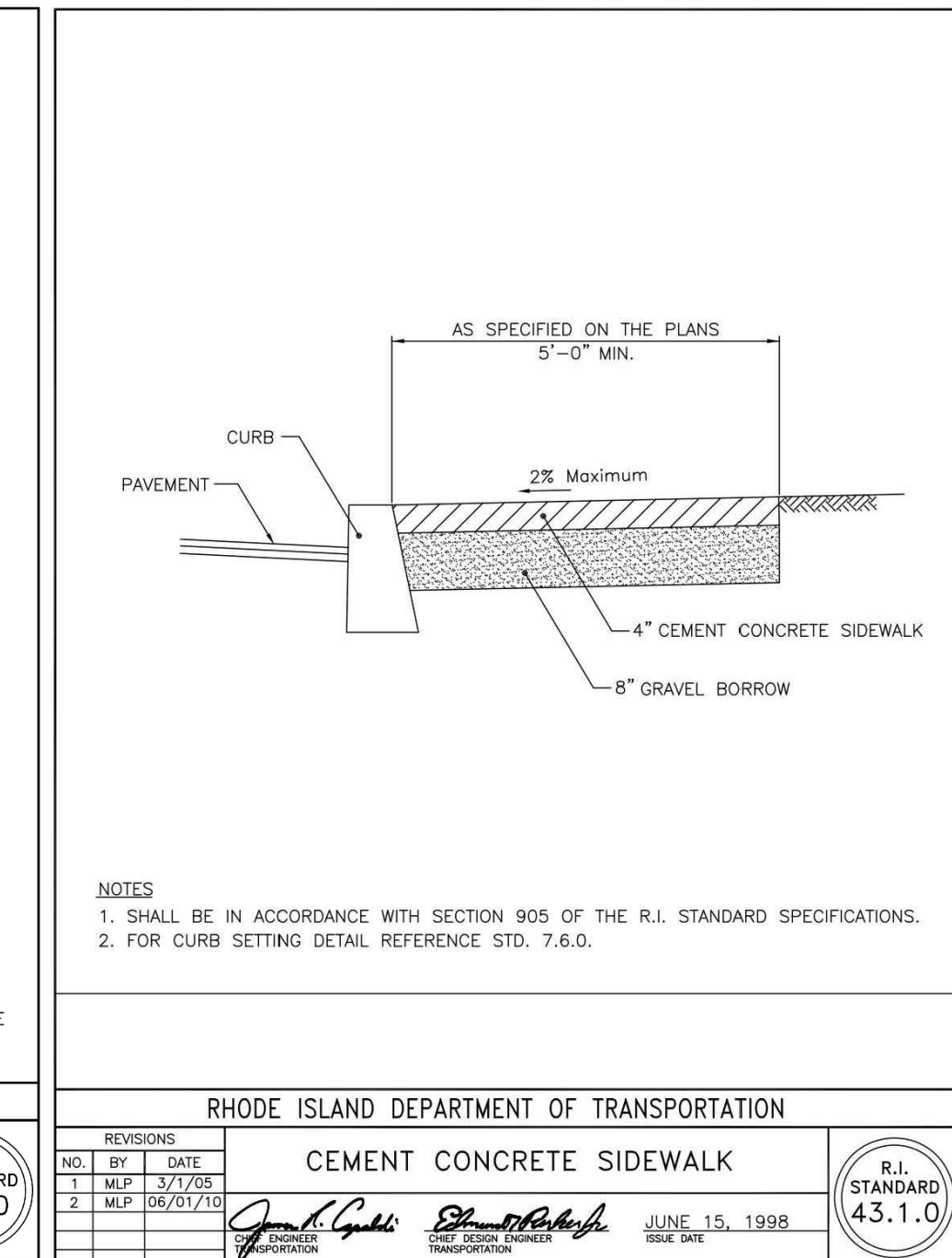
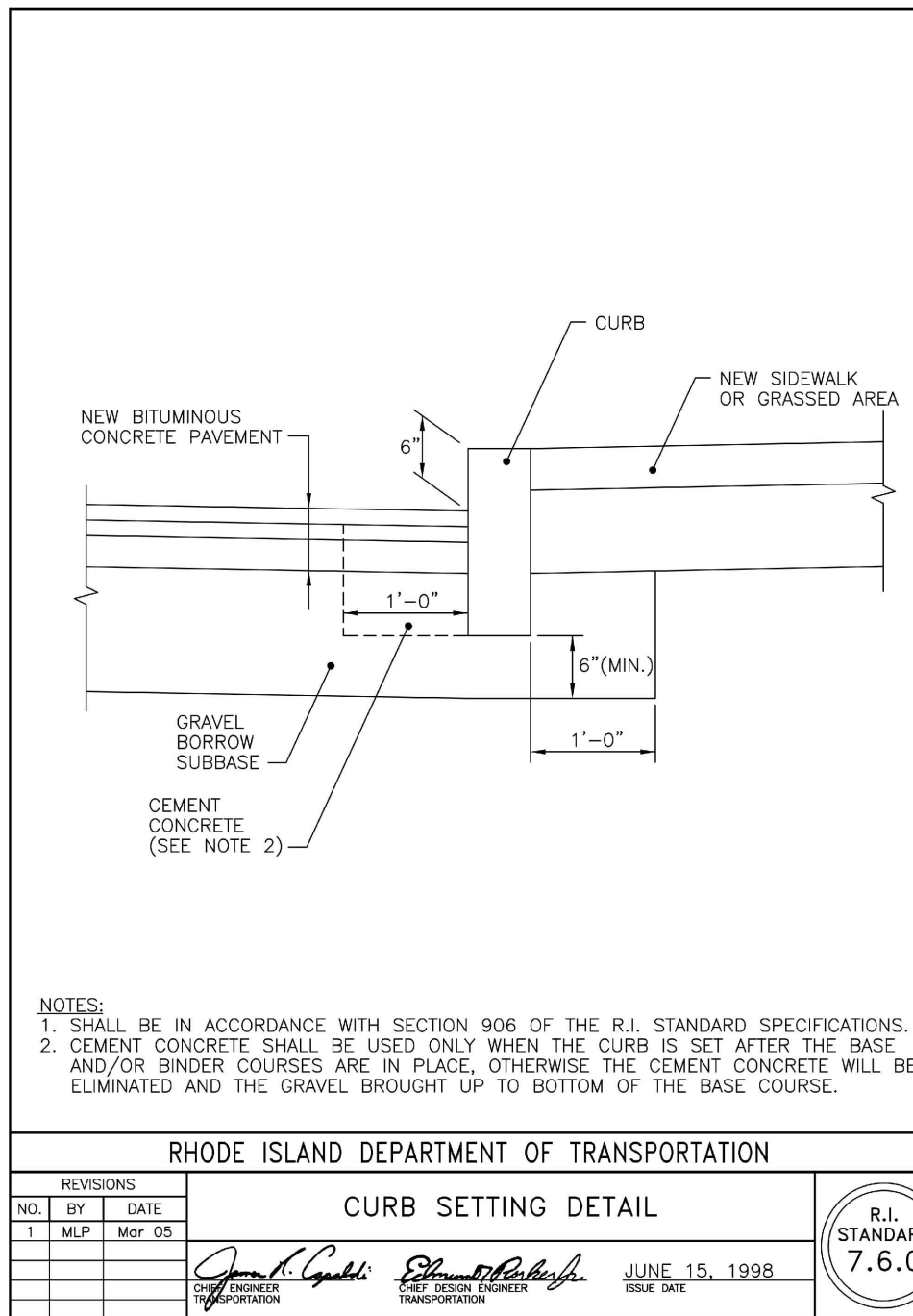
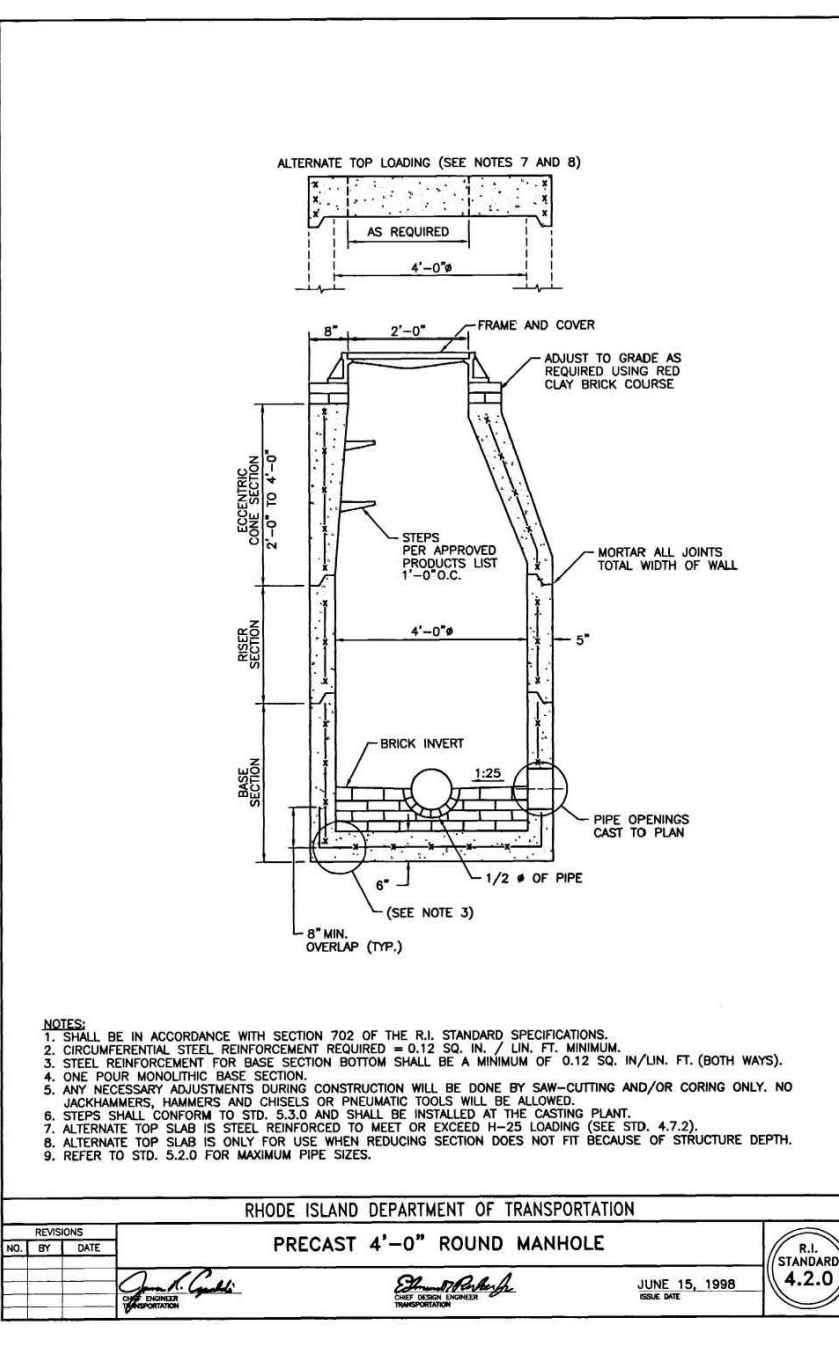
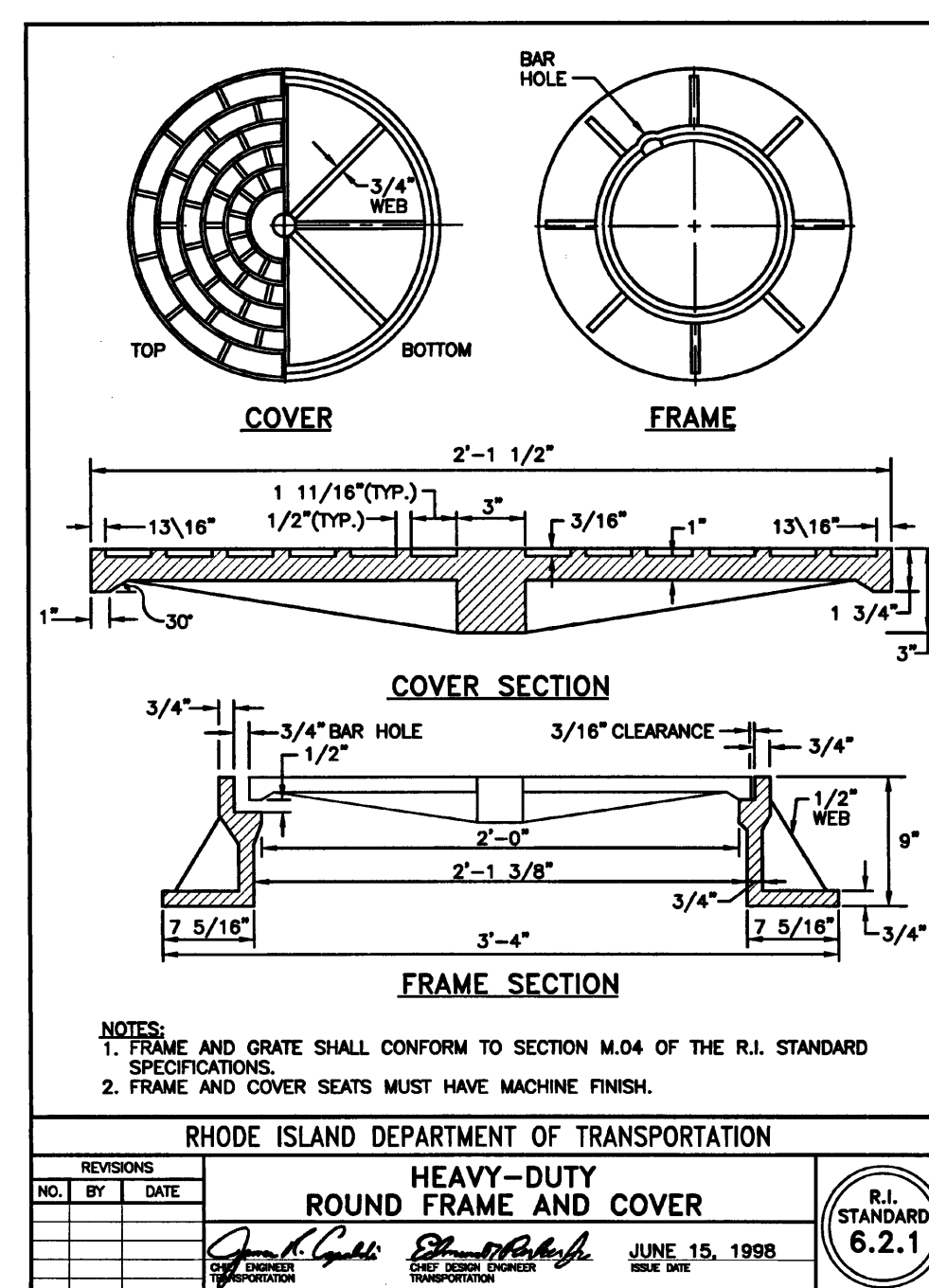
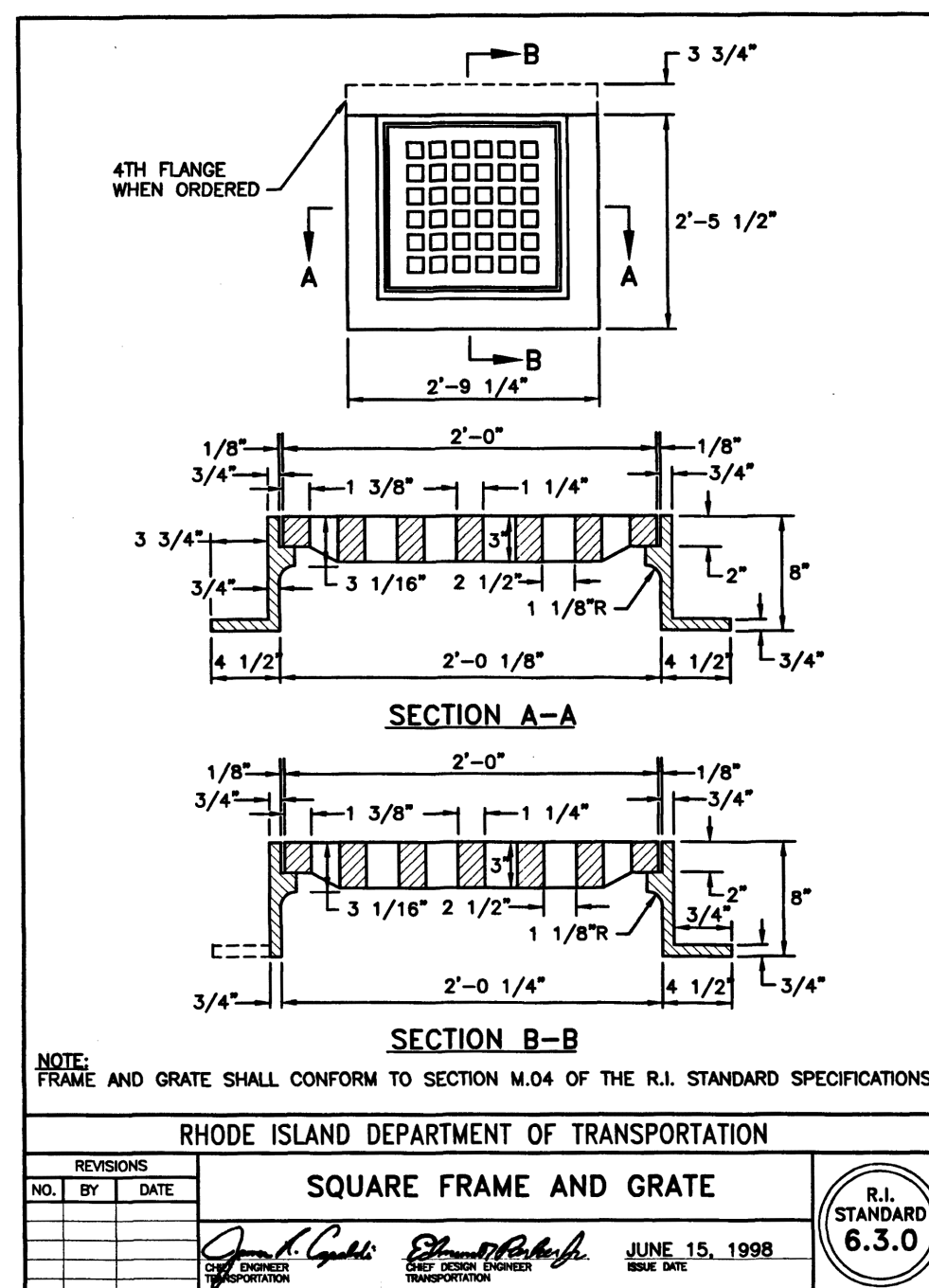
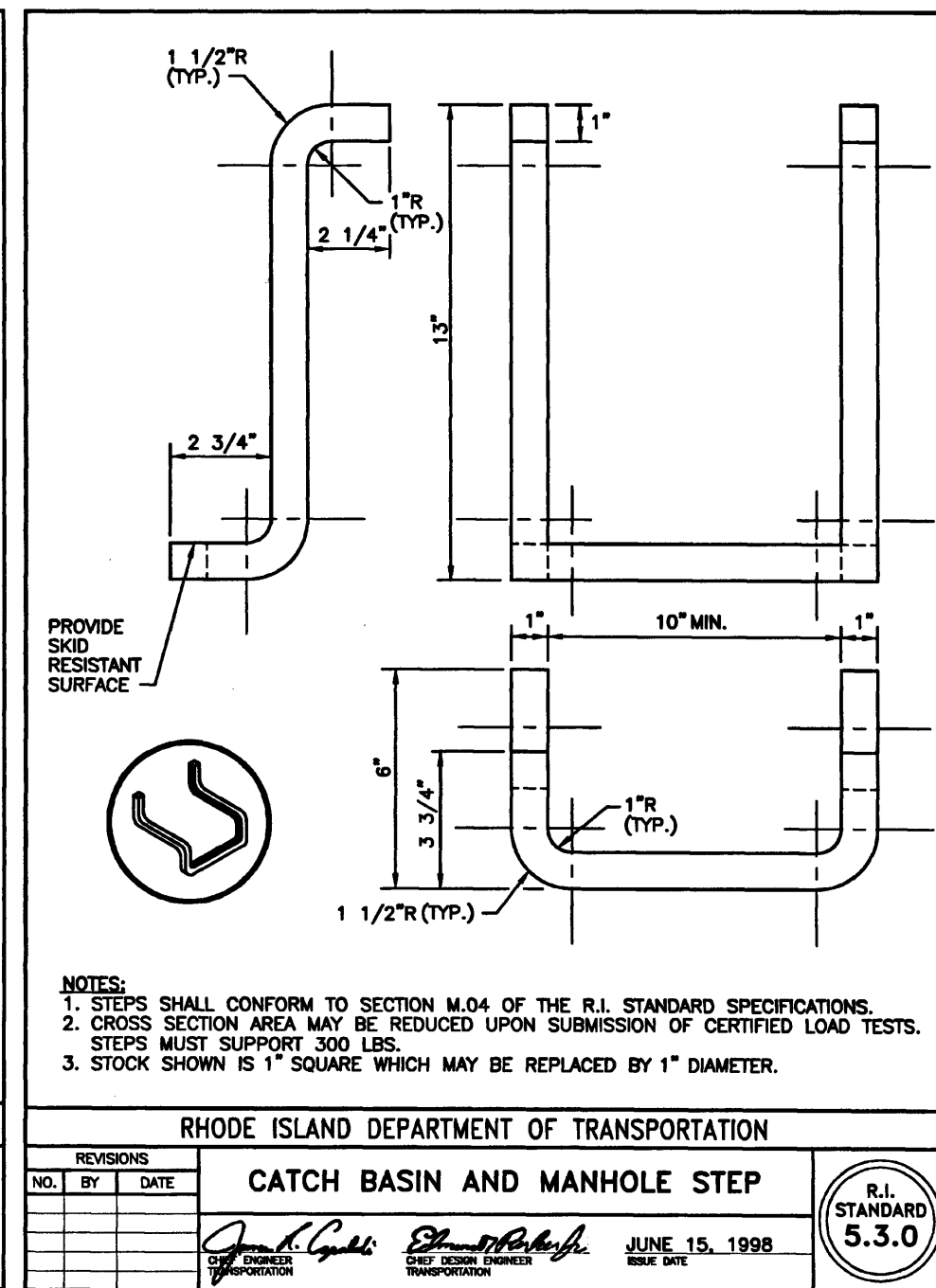
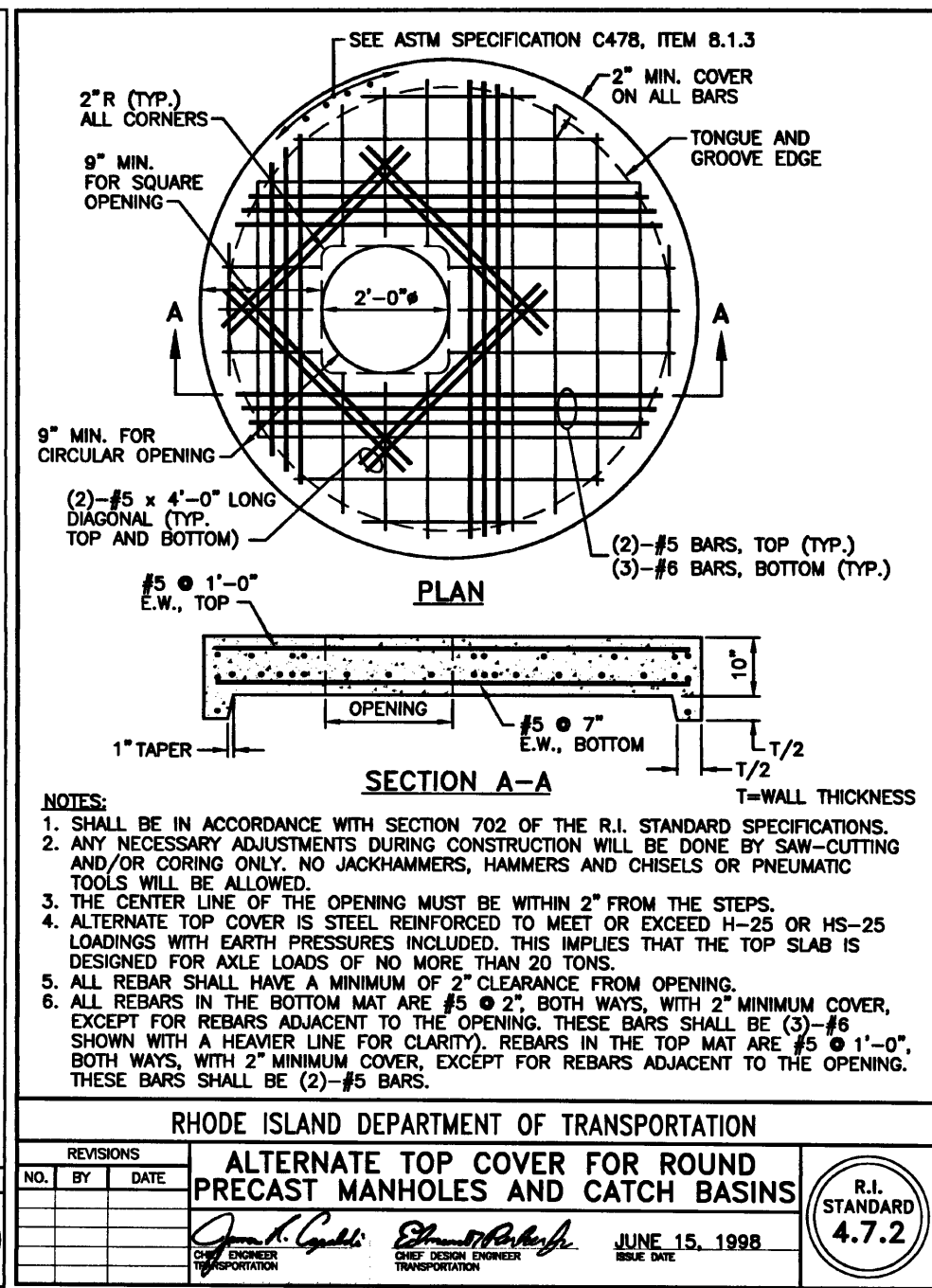
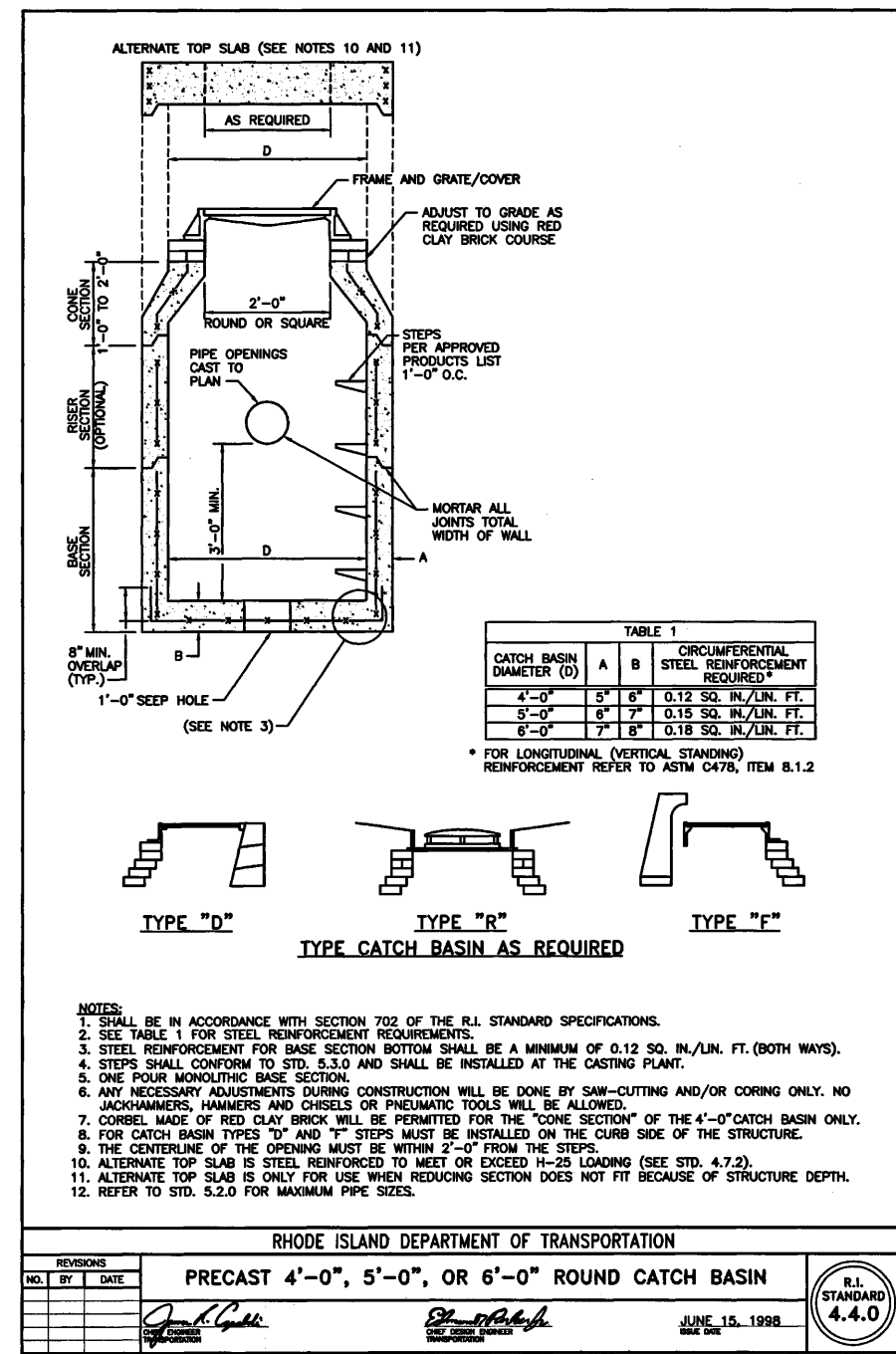
STAKED STRAW BALES OR SILT FENCE SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND AS REQUIRED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTIES, WETLANDS AND THE ROADWAY DRAINAGE SYSTEM. DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR MORE THAN 2 WEEKS OF TIME OR FOR THE INACTIVE WINTER SEASON.

NO UNDISTURBED AREAS SHALL BE CLEARED OF EXISTING VEGETATION AFTER OCTOBER 15 OF ANY CALENDAR YEAR OR DURING ANY PERIOD OF FULL OR LIMITED WINTER SHUTDOWN. ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15 OF ANY CALENDAR YEAR SHALL BE SEEDED OR PROTECTED BY THAT DATE. ANY SUCH AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE COVER FOR STABILIZATION, AS DETERMINED BY THE RESIDENT ENGINEER OR ENVIRONMENTAL INSPECTOR, BY NOVEMBER 15 OF ANY CALENDAR YEAR, MUST BE STABILIZED THROUGH THE USE OF EROSION CONTROL MATTING OR STRAW MULCH, IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15 THROUGH APRIL 15, CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THAT DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE RESTABILIZED WITHIN 5 WORKING DAYS. ANY WORK TO CORRECT PROBLEMS RESULTING FROM FAILURE TO COMPLY WITH THIS PROVISION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THERE SHALL BE NO SEPARATE PAYMENT FOR THIS PROVISION. IT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OPERATIONS. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 2 WEEKS OF FINAL GRADING.

PREPARE TEMPORARY SEEDING AREA, PROVIDE AND PLANT SEED IN ACCORDANCE WITH "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" AS PREPARED BY THE RHODE ISLAND STATE CONSERVATION COMMITTEE, REVISED 2014, (AS REVISED).

- SEED MIX:
- | | |
|------------------|-----------------------|
| ANNUAL RYE GRASS | 1.5 LBS/1,000 SQ. FT. |
|------------------|-----------------------|
- TEMPORARY TREATMENTS TO STABILIZE EXPOSED SOILS SHALL CONSIST OF STRAW OR FIBER MULCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK WHEN SOILS ARE EXPOSED FOR TWO WEEKS OR MORE OR AS ORDERED BY THE TOWN, ENGINEER OR OWNER AT NO ADDITIONAL COST.
 - STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
 - ALL NEW STRAW BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
 - STOCKPILES SHALL HAVE NO SLOPE GREATER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED STRAW BALES OR SILT FENCE. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS OF TIME SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF PLANTING ANNUAL RYE GRASS OR PROTECTING WITH STRAW OR FIBER MATTING.
 - DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
 - ADDITIONAL STRAW BALES/SILT FENCE OR OTHER TREATMENTS SHALL BE PROVIDED AS DIRECTED BY ENGINEER, RIDEM OR LOCAL REPRESENTATIVES AT NO ADDITIONAL COST.
 - THE CONTRACTOR SHALL INSPECT THE SOIL EROSION CONTROL DEVICES AFTER EVERY RAIN STORM EVENT AND EVERY 7 DAYS (WHICH EVER COMES FIRST). ANY SOIL MIGRATION PAST THE DEVICES SHALL BE REMOVED AND THE SOIL EROSION CONTROL DEVICES SHALL BE RE-ESTABLISHED TO PREVENT SOIL EROSION. ALL ACCUMULATED SEDIMENT IN FRONT OF THE DEVICES SHALL BE REMOVED AFTER EVERY RAIN STORM EVENT.
 - ALL DISTURBED SOIL AREAS SHALL BE PROTECTED AGAINST SOIL EROSION BY PLACEMENT OF STRAW BALES AND/OR SILT FENCE ON THE DOWN GRADIENT SIDE OF THE DISTURBED AREA(S). SHOULD THE VOLUME AND/OR RATE OF STORMWATER RUNOFF BE TOO GREAT FOR A SINGLE DEVICE, THEN MULTIPLE DEVICES ARE REQUIRED SUCH AS SILT FENCE BACKED-UP WITH STRAW BALES. THESE ADDITIONAL DEVICES ARE NOT SHOWN ON THE PLAN BUT SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - AT THE END OF THE PROJECT ALL SEDIMENT IN MANHOLE SUMPS SHALL BE REMOVED.





SIGN NUMBER		*R1-1
LEGEND		STOP
COLOR	BACKGROUND	RED
COPY	WHITE	
SIGN DIMENSION	WIDTH	HEIGHT
	24"	30"
	36"	48"

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401) 732-9300

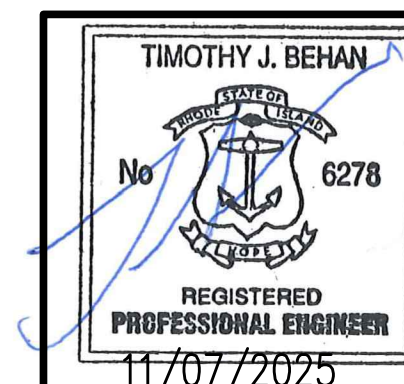
APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

- ☐ CONCEPT
- ☐ CUSTOMER APPROVAL
- ☒ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



REVISIONS			
No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
3	09-02-25	SMA	TJB
4	09-11-25	SMA	TJB
5	11-07-25	SMA	TJB



**PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT**
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-1

SCALE:	AS SHOWN	SHEET NO: 13 OF 20
DRAWN BY:	SMA	DESIGN BY: SMA
CHECKED BY:	TJB	
DATE:	MARCH 27, 2025	PROJECT NO.: 25024.00

DATE: MARCH 27, 2025	PROJECT NO.: 25024.00
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PRIOR TO CONNECTION

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
CONNECTION OF NEW WATER MAIN TO EXISTING WATER MAIN
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
TAPPING SLEEVE AND VALVE
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
TRENCH INSTALLATION IN ROCK AND SOIL
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
UTILITY SEPARATION
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
THRUST BLOCK
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
RESTRAINED PIPE LENGTHS
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
HYDRANT
NOT TO SCALE
DATE: 09/2006

WATER SYSTEM NOTES:

- CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL KENT COUNTY WATER AUTHORITY (KCWA) RULES, REGULATIONS, AND INSTALLATION REQUIREMENTS.
- CONTRACTOR TO COORDINATE ANY NECESSARY SHUTDOWN OF EXISTING WATER MAIN WITH KCWA PRIOR TO ANY WORK.
- CONSTRUCTION MATERIALS AND METHODS FOR WATER MAINS AND SERVICE CONNECTIONS HAVE BEEN STANDARDIZED BY KCWA. THE CONTRACTOR SHALL ONLY USE KCWA APPROVED MATERIALS AND METHODS. THE CONTRACTOR SHALL USE KCWA MATERIALS AND METHODS WHEN IN CONFLICT WITH DRAWINGS.
- WATER MAIN PIPE:** ALL DUCTILE-IRON PIPE AND APPURTENANCES SHALL BE FROM A SINGLE MANUFACTURER SOURCE. FOREIGN PIPE FITTINGS AND GASKETS ARE STRICTLY FORBIDDEN. DUCTILE IRON PIPE SHALL CONFORM TO ANSI/AWWA C151/A21.51, ANSI/AWWA C150/A21.50 CLASS 52 DOUBLE CEMENT MORTAR LINED. GASKETS SHALL CONFORM TO ANSI/AWWA C111/A21.1. ALL PIPES SHALL HAVE A BITUMINOUS OUTSIDE COATING IN ACCORDANCE WITH ANSI/AWWA C151/A21.51 AND ANSI/AWWA C153/A21.53 RESPECTIVELY. ALL PIPES SHALL BE CEMENT-MORTAR LINED AND SEAL COATED IN ACCORDANCE WITH ANSI/AWWA C104/A21.14 EXCEPT THE LINING THICKNESS SHALL BE TWICE THAT SPECIFIED. JOINTS FOR PIPE SHALL BE PUSH-ON (TYTON STYLE ONLY) OR MECHANICAL JOINT CONFORMING TO ANSI/AWWA C111. ALL MECHANICAL JOINT PIPES SHALL BE SUPPLIED WITH ACCESSORIES. RESTRAINED JOINTS SHALL BE SUITABLE FOR 150 PSI WORKING PRESSURE AND FABRICATED OF HEAVY SECTION DUCTILE IRON CASTING. GASKETS SHALL MEET THE MATERIAL REQUIREMENTS OF ANSI/AWWA AND MADE IN THE USA.

TYPE: DUCTILE IRON MEETING ANSI/AWWA C151/A21.51 AND ANSI/AWWA C150/A21.50.

CLASS: SPECIAL THICKNESS CLASS 52.

LINING: DOUBLE CEMENT MORTAR MEETING ANSI/AWWA C151/A21.5.

END JOINTS: PUSH ON (TYTON STYLE ONLY) – MEETING ANSI/AWWA C111/A21.51.

MECHANICAL JOINT – MEETING ANSI/AWWA C111/A21.11.

EXTERIOR: ANSI/AWWA C104/A21.4.

COATING: ALL REQUIREMENTS OF EPA FOR POTABLE WATER.

INTERIOR: RUBBER MEETING ANSI/AWWA C111/A21.11.

GASKET: NITRILE (IN CONTAMINATED SOIL).
- FITTINGS:** DUCTILE IRON FITTINGS SHALL CONFORM TO ANSI/AWWA C153/A21.53. FOREIGN FITTINGS, GASKET GLANDS AND ACCESSORIES ARE STRICTLY FORBIDDEN. ALL FITTINGS SHALL HAVE A BITUMINOUS OUTSIDE COATING IN ACCORDANCE WITH ANSI/AWWA C151/A21.51 AND ANSI/AWWA C153/A21.53 RESPECTIVELY. ALL FITTINGS SHALL BE CEMENT-MORTAR LINED AND SEAL COATED IN ACCORDANCE WITH ANSI/AWWA C104/A21.14 EXCEPT THE LINING THICKNESS SHALL BE TWICE THAT SPECIFIED. JOINTS FOR FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO ANSI/AWWA C111. ALL MECHANICAL JOINT FITTINGS SHALL BE SUPPLIED WITH GLANDS AND ACCESSORIES.

TYPE: 4 INCH TO 12 INCH DUCTILE IRON COMPACT MEETING ANSI/AWWA C153/A21.53. 16 INCH AND LARGER DUCTILE IRON MEETING ANSI/AWWA C153/A21.53 OR ANSI/AWWA C110/A21.10.

PRESSURE CLASS: PIPE FITTINGS SHALL HAVE A PRESSURE RATING OF 350 FOR 24-INCH AND SMALLER AND 250 PSI FOR 30-INCH AND LARGER. FITTINGS SHALL AT A MINIMUM HAVE THE SAME PRESSURE RATING AS THE CONNECTING PIPE.

GASKETS: RUBBER MEETING ANSI/AWWA C111/A21.11. NITRILE (IN CONTAMINATED SOIL).
- VALVES:** VALVES SHALL BE CAST IRON OR DUCTILE IRON 250-PSI WORKING PRESSURE. OPERATING STEM SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) O-RING STEM SEALS. BONNET AND GLAND BOLTS/WASHERS SHALL BE STAINLESS STEEL. WEDGES SHALL BE FULLY ENCAPSULATED. THE INTERIOR AND EXTERIOR SURFACES OF ALL CAST IRON OR DUCTILE IRON COMPONENTS SHALL BE FUSION BOND EPOXY COATED, 8 MILS MINIMUM THICKNESS. EPOXY COATING MUST BE UNDAUNAGED WITH NO CHIPS OR ABRASIONS. FIELD TOUCH-UP OF INTERIOR COATING IS NOT ALLOWED. FIELD TOUCH-UP OF EXTERIOR SURFACES SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOATING SPECIFICATIONS ONLY. CONTRACTORS SHALL USE SPECIAL HANDLING AND INSTALLATION PRECAUTIONS WITH THE USE OF EPOXY COATED VALVES AS NECESSARY TO ENSURE THAT NO COATING SYSTEM DAMAGE OCCURS. AT A MINIMUM FIBER SLINGS OR BELTS SHALL BE USED FOR ALL HANDLING. ALL EPOXY-COATED VALVES SHALL BE PALETTEIZED AND PROPERLY SHRINK-WRAPPED UPON DELIVERY TO ASSURE COATING SYSTEM INTEGRITY IS NOT COMPROMISED. ALL EPOXY VALVES SHOULD BE DELIVERED OR DURING INSTALLATION SHALL BE REJECTED AND REMOVED FROM THE JOB SITE. ALL VALVES SHALL BE MANUFACTURED TO MEET OR EXCEED AWWA C509 AND ISO 9000 ALONG WITH THE DESIGN AND OPERATING CHARACTERISTICS OF THE FOLLOWING DEVICES:

RESILIENT SEAT GATE 4 INCH TO 12 INCH:

TYPE: BURIED SERVICE NON-RISING STEM.

ABOVE GRADE SERVICE OR PITS OS & Y WITH HAND WHEEL OR NON-RISING STEM WITH HAND WHEEL.

WORKING PRESSURE: 250 PSI

OPENING: LEFT OR RIGHT, DEPENDING ON SYSTEM LOCATION

STEM: 420 STAINLESS STEEL OR EQUAL WITH MINIMUM 60,000 PSI YIELD STRENGTH

FASTENERS: STAINLESS STEEL, TYPE 304 FOR ALL OF THE VALVE

COATINGS: INTERNAL & EXTERIOR TO BE COATED WITH FUSE BONDED HOLIDAY FREE EPOXY COATING MINIMUM 8 MILS NOMINAL THICKNESS MEETING OR EXCEEDING AWWA C550 FULLY RUBBER ENCAPSULATED CAST IRON, DUCTILE IRON OR BRONZE GATE MEETING AWWA C509

WEDGES: 2 INCH SQUARE OPERATING NUT WITH HEXAGON STAINLESS STEEL BOLT FASTENER

OPERATING NUT: 2 INCH SQUARE OPERATING NUT WITH HEXAGON STAINLESS STEEL BOLT FASTENER

STEM SEAL: MINIMUM TWO O-RING SEALS

CONNECTION: MECHANICAL JOINT

TAPPING SLEEVE & VALVE: VALVES SHALL BE FULL BODY AND FULL PORT TAPPING TYPE MEETING THE REQUIREMENTS PARVEY OR 21.1. SLEEVES SHALL BE FULL BODY AND FULL PORT TAPPING TYPE MEETING THE REQUIREMENTS PARVEY OR 21.1. SLEEVES SHALL BE MADE BY A TOOL DESIGNED FOR THAT OPERATION. STAINLESS STEEL, DUCTILE IRON SLEEVES SHALL BE OF THE SAME MANUFACTURER AS OF THE VALVE AND BITUMINOUS COATED. ALL SLEEVES SHALL BE MANUFACTURED TO MEET OR EXCEED THE DESIGN AND OPERATING CHARACTERISTICS OF ONE OF THE FOLLOWING DEVICES:

TYPE: RESILIENT SEAT GATE VALVES DESIGNED SPECIFICALLY FOR TAPPING.

SEAL: STAINLESS STEEL SLEEVES SHALL USE GRID PATTERN VIRGIN RUBBER ASTM 2000, FULL 360-DEGREE PIPE COVERAGE. DUCTILE IRON SLEEVES SHALL USE MECHANICAL JOINT WITH RUBBER SEALS.

MAXIMUM WORKING PRESSURE: 4-12 INCH: 250 PSI 16-24 INCH: 200 PSI

FASTENER: GRADE 18-8 TYPE 304 STAINLESS STEEL
- SERVICE PIPE** SERVICE PIPE SIZES SHALL BE 3/4" TO 2 INCH SHALL BE COPPER PIPE. COPPER TUBING JOINTS SHALL COMPLY WITH NSF 61 AND CONFORM TO ONE OF THE FOLLOWING TYPES:

A. BRAZED JOINTS – ALL JOINT SURFACES SHALL BE CLEANED AND APPROVED FLUX SHALL BE APPLIED WHERE REQUIRED. THE JOINT SHALL BE BRAZED WITH A FLUX METAL CONFORMING TO AWS A5.8.

B. FLANGED JOINTS – FLANGED JOINTS FOR WATER PIPE SHALL BE MADE BY A TOOL DESIGNED FOR THAT OPERATION.

C. MECHANICAL JOINTS – MECHANICAL JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND BE RATED FOR 200 PSI MINIMUM.

D. SOLDERED JOINTS – SOLDER JOINTS SHALL BE MADE IN ACCORDANCE WITH THE METHODS OF ASTM B828. ALL CUT TUBE ENDS SHALL BE REAMED TO THE FULL INSIDE DIAMETER OF THE TUBE END. ALL JOINT SURFACES SHALL BE CLEANED. SOLDER CONFORMING TO ASTM B613 SHALL BE APPLIED. THE JOINT SHALL BE SOLDERED WITH A SOLDER CONFORMING TO ASTM B 32. THE JOINING OF WATER SUPPLY PIPING SHALL BE MADE WITH LEAD-FREE SOLDERS AND FLUXES. "LEAD FREE" SHALL MEAN A CHEMICAL COMPOSITION EQUAL TO OR LESS THAN 0.2-PERCENT LEAD.

PE PIPE AND TUBING JOINTS SHALL COMPLY WITH NSF 61, BE RATED FOR A WORKING PRESSURE OF 200 PSI AND CONFORM TO ONE OF THE FOLLOWING TYPES:

A. HEAT FUSION JOINTS – JOINT SURFACES SHALL BE CLEAN AND FREE FROM MOISTURE. ALL JOINT SURFACES SHALL BE HEATED TO MELT TEMPERATURE AND JOINED. THE JOINT SHALL BE UNDISTURBED UNTIL COOL. JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D2657.

B. MECHANICAL JOINTS – MECHANICAL JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

C. GENERAL – PE PIPE SHALL BE CUT SQUARE, WITH A CUTTER DESIGNED FOR PLASTIC PIPE, EXCEPT WHERE JOINED BY HEAT FUSION, PIPE ENDS SHALL BE CHAMFERED TO REMOVE SHARP EDGES. KINKED PIPE SHALL NOT

- CORPORATION STOPS** SHALL BE BALL TYPE WITH EITHER STAINLESS STEEL, SYNTHETIC COATED BRASS BALL OR NICKEL COATED BRASS BALL DESIGNED FOR POTABLE WATER SERVICE UP TO 300 PSI. BODY SHALL BE HEAVY CAST LEAD FREE "ENVIROBRASSI" UNS ALLOY NUMBER C89520 ASTM B584-98g AND/OR AWWA C800/ASTM B-62 MEETING OR EXCEEDING THE LEAD LEACHING PERFORMANCE SPECIFICATIONS OF ANSI/NSF 61 STANDARD. ALL CORPORATION STOPS SHALL MEET OR EXCEED DESIGN STANDARDS OF AWWA C800 ALONG WITH THE FOLLOWING:

A. TYPE = FORD OR EQUAL

B. OPEN = OPENS LEFT

C. END CONNECTIONS = COMPRESSION WITH NON-CORROSIVE GRIP RING MEETING ASTM B-159-BUNA N RUBBER AND CONDUCTIVITY RING. THREADED END SHALL BE AWWA CC TAPER THREAD FOR DIRECT TAP.
- CURB STOPS** SHALL BE BALL TYPE WITH EITHER STAINLESS STEEL, SYNTHETIC COATED BRASS BALL OR NICKEL COATED BRASS BALL DESIGNED FOR POTABLE WATER SERVICE UP TO 300 PSI. BODY SHALL BE HEAVY CAST LEAD FREE "ENVIROBRASSI" UNS ALLOY NUMBER C89520 ASTM B584-98g AND/OR AWWA C800/ASTM B-62 MEETING OR EXCEEDING THE LEAD LEACHING PERFORMANCE SPECIFICATIONS OF ANSI/NSF 61 STANDARD. ALL CURB STOPS SHALL MEET OR EXCEED DESIGN STANDARDS OF AWWA C800 ALONG WITH THE FOLLOWING:

A. TYPE = FORD OR EQUAL

B. OPEN = OPENS LEFT

C. END CONNECTIONS = COMPRESSION WITH NON-CORROSIVE GRIP RING MEETING ASTM B-159-BUNA N RUBBER AND CONDUCTIVITY RING.

D. DRAIN = NONE
- SADDLE FOR SERVICE CONNECTION TO DUCTILE IRON MAIN, IF USED, SHALL BE DUCTILE IRON OR TYPE 304 STAINLESS STEEL WITH STAINLESS STEEL BOLTS, WASHERS, NUTS AND BANDS. DUCTILE IRON COMPONENTS SHALL BE COATED WITH FUSION BONDED EPOXY MINIMUM 8 MILS THICKNESS MEETING OR EXCEEDING AWWA C550 OR NYLON COATED.**

A. TYPE = FORD OR EQUAL (SADDLE ON 8" DUCTILE IRON MAIN)

B. BODY = DUCTILE IRON OR GRADE 18-8 TYPE 304 STAINLESS STEEL

C. BAND = GRADE 18-8 TYPE 304 STAINLESS STEEL DOUBLE BAND.

D. FASTENERS = 304 STAINLESS STEEL STUD, NUT & WASHERS.

E. GASKET = VIRGIN RUBBER ASTM 2000.

F. OUTLET = THREADED OUTLET TAPPED TO AWWA C800 FOR THE APPROPRIATE SERVICE SIZE.
- DUCTILE IRON COUPLINGS:** STRAIGHT AND TRANSITION COUPLINGS SHALL BE DUCTILE IRON MANUFACTURED TO MEET AWWA C 219 AND FITTED WITH STAINLESS STEEL BOLTS WASHERS AND NUTS. DUCTILE IRON COMPONENTS SHALL BE COATED WITH FUSION BONDED EPOXY MINIMUM 8 MILS THICKNESS MEETING OR EXCEEDING AWWA C550. COUPLINGS SHALL BE MANUFACTURED TO MEET OR EXCEED THE DESIGN AND OPERATING CHARACTERISTICS OF THE FOLLOWING:

TYPE: FORD OR EQUAL

BODY: DUCTILE IRON.

COATING: DUCTILE IRON COMPONENTS SHALL BE EPOXY COATED AWWA C 500.

FASTENERS: 304 STAINLESS STEEL STUD, NUT & WASHERS.

gasket: RUBBER ASTM 2000.
- ALL METERS** SHALL BE COMPATIBLE WITH THE SYSTEM UTILIZED BY THE KENT COUNTY WATER AUTHORITY. THE NEPTUNE E-CODED R-900, 944 METERS SHALL BE READ IN CURB. TEST AND BE CAPABLE OF BEING READ BY THE RADIO FREQUENCY SYSTEM USED BY KCWA. REGISTERS SHALL CONTAIN A 9-DIGIT LOCAL REGISTRATION AND 4-8 DIGITS CAN BE COMMUNICATED FOR BILLING PURPOSES.
- SERVICE BOXES (LOCATED OFF ROADWAYS)** SHALL BE MANUFACTURED IN NORTH AMERICA. THEY SHALL BE HEAVY PATTERN CAST IRON, BUFFALO STYLE, SLIP ADJUSTABLE TYPE WITH HEAVY CAST IRON COVER AND BRASS BOLT FASTENER TYPE LOCK. THE WORD "WATER" SHALL BE CAST UPON THE COVER IN HEAVY PATTERN RAISED LETTERS. COVERS SHALL BE DROP IN TYPE WITHOUT FINS SOLID IRON. BOXES SHALL HAVE A BITUMINOUS INTERNAL AND EXTERNAL COATING IN ACCORDANCE WITH ANSI/AWWA C151/A21.51 AND ANSI/AWWA C153/A21.53 RESPECTIVELY. BOXES SHALL HAVE BARRELS OF NOT LESS THAN 2 1/2" IN DIAMETER. THE LOWER SECTION OF EACH BOX SHALL HAVE A BOTTOM FLANGE OF SUFFICIENT BEARING AREA TO PREVENT SETTLING. THE BASE OF THE LOWER SECTION SHALL BE A REINFORCED ARC OF CONCRETE TO ENCLOSE THE CURB STOP. BOX SECTIONS SHALL BE OF SUFFICIENT LENGTH TO PROVIDE COMPLETE COVERAGE FOR THE DEPTH OF BURY.
- VALVE ROAD BOXES** ALL VALVES LOCATED IN ROADWAYS (EXCEPT SWING-CHECK) SHALL BE EQUIPPED WITH A CAST IRON "BUFFALO" TYPE, ADJUSTABLE (SLIDING) VALVE ROAD BOX. THE UPPER PORTION SHALL BE 26 INCH LONG AND THE BOTTOM SECTION 48 INCH (MIN). COVERS SHALL BE 5-1/4" IN DIAMETER SOLID IRON SEAT WITH THE WORD "WATER" (IN CAPS) CAST UPON IT. THE UPPER PORTION OF THE BOX SHALL BE MANUFACTURED WITH A HEAVY FLANGE HAVING SUFFICIENT BEARING AREA TO PREVENT SETTLEMENT. THE LOWER SECTION SHALL BE CONFIGURED TO ENCLOSE THE VALVE STUFFING BOX WITH AN INSIDE DIAMETER OF AT LEAST 4-1/4 INCH. THE INSTALLED BOX SHALL BE CAPABLE OF VERTICAL ADJUSTMENT OF A MINIMUM OF 6 INCH WHILE MAINTAINING AN OVERLAP OF A LEAST 4 INCH BETWEEN SECTIONS.
- ALL HOSE BIBS** PROVIDED FOR THE HOUSES SHALL BE OF THE DESIGN, WHICH INCORPORATES A BUILT-IN TAMPER PROOF VACUUM BREAKER FEATURE AS MANUFACTURED BY THE BOSE BIB MAKER. ALL HOSE BIB FIXTURES SHALL BE AMERICAN MADE. THIS REQUIREMENT IS APPLICABLE TO ALL INTERIOR AND EXTERIOR HOSE BIB APPLICATIONS. EXISTING PROPERTIES SHALL BE RETROFITTED WITH NON-REMOVABLE HOSE BIB VACUUM BREAKER ASSEMBLIES SPECIFICALLY DESIGNED TO ADAPT TO THE EXISTING HOSE BIB CONFIGURATION.
- THE PROPERTY OWNER** SHALL BE RESPONSIBLE TO INSTALL AN APPROPRIATE THERMAL EXPANSION DEVICE IN THE FACILITY TO COMPLY WITH CROSS CONNECTION REQUIREMENTS OF THE RHODE ISLAND PLUMBING CODE.
- MINIMUM COVER OVER WATER PIPE** IS 5 FEET.
- PROVIDE WARNING TAPE** OVER SERVICE AS SHOWN IN TRENCH DETAIL.
- THE WATER MAIN AND SERVICES** SHALL BE FILLED, FLUSHED, HYDROSTATICALLY PRESSURE TESTED TO 180 PSI AND CHLORINATED/DISINFECTED IN ACCORDANCE WITH KCWA RULES & REGULATIONS, AWWA C851, RHODE ISLAND DEPARTMENT OF HEALTH AND "AWWA MANUAL" AND "AWWA MANUAL" OF WATER SUPPLY PRACTICE WSS – PE PIPE DESIGN AND INSTALLATION". REFER TO SECTION 3.23 "DISINFECTION/CHLORINATION" OF THE KCWA RULES AND REGULATIONS AND KCWA'S "CUSTOMER WATER SERVICE DISINFECTION POLICY". NOTE: MAXIMUM VELOCITY WHEN FILLING THE PE PIPE WITH WATER SHALL BE 1 FT/SEC (1 GAL/MIN FOR 1" CTS PIPE).
- A MINIMUM OF TEN-FOOT HORIZONTAL SEPARATION** SHALL BE MAINTAINED IN THE PLACEMENT OF WATER MAINS, SERVICES OR APPURTENANCES WITHIN THE VICINITY OF SEWER FACILITIES OR VICE VERSA, WHERE WATER MAINS CROSS SEWER MAINS. THE CROWN OF THE SEWER MAIN SHALL BE AT LEAST 18-INCHES BELOW THE BOTTOM OF THE WATER MAIN, IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10-FOOT, HORIZONTAL SEPARATION OR IN THE CASE OF CROSSING THE EIGHTEEN-INCH VERTICAL SEPARATION, A DEVIATION FROM THIS RESTRICTION MAY BE ALLOWED ON A CASE BY CASE BASIS WITH PRIOR APPROVAL FROM THE GENERAL MANAGER/CHIEF ENGINEER AS TO THE PROPOSED TAP LOCATIONS AND INTERVENTIONS TO BE TAKEN TO PROTECT THE WATER SYSTEM FROM THE POSSIBILITY OF CONTAMINATION. IN ALL CASES, FORCE MAIN SEWER INFRASTRUCTURE MUST BE LOCATED BELOW WATER MAINS.
- METALIZED DETECTABLE IDENTIFICATION TAPE** 2" IN WIDTH OR GREATER, BLUE IN COLOR AND PRINTED WITH "CAUTION WATER BURIED BELOW" SHALL BE UTILIZED OVER ALL WATER LINES AND SERVICES. SET TO A DEPTH FROM FINISHED GRADE OF NO MORE THAN 1'-0".
- A TEMPORARY PATCH** SHALL BE INSTALLED OVER THE FRESHLY BACKFILLED TRENCH IN AN EXISTING STREET OR SIDEWALK USING HOT BITUMINOUS CONCRETE. IT SHALL BE AT LEAST 3" THICK CONSISTING OF EQUAL THICKNESS LAYERS OF MODIFIED BINDER AND TYPE I-1 WEARING COURSE. AFTER 60 DAYS, THE TEMPORARY PATCH SHALL BE REMOVED AND REPLACED WITH A PERMANENT PATCH. ALL PAVEMENT EDGES SHALL BE SAW CUT.
- AN AS-BUILT PLAN** IS REQUIRED. CONTRACTOR SHALL RETAIN THE SERVICES OF A RHODE ISLAND PROFESSIONAL LAND SURVEYOR TO INSPECT THE SERVICE AND PREPARE THE AS-BUILT PLAN IN ACCORDANCE WITH THE KCWA RULES AND REGULATIONS.

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
UTILITY SEPARATION
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
THRUST BLOCK
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
RESTRAINED PIPE LENGTHS
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
HYDRANT
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
CONCRETE COLLAR
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
TEMPORARY CONNECTION FOR PRESSURE TESTING AND DISINFECTION
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
PERMANENT BLOWOFF ASSEMBLY
NOT TO SCALE
DATE: 09/2006

NOTE:

1) SERVICE MATERIALS PER KCWA SPECIFICATION UNLESS CITY OR TOWN CODES REQUIRE SPECIFIC MATERIALS THAT HAVE BEEN APPROVED BY KCWA.

2) SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE IMPROVED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
SERVICE CONNECTION
NOT TO SCALE
DATE: 09/2006

NOTE:

1) PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.

2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

CONNECTION

KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
ABOVE-GROUND WATER METER & BACKFLOW PREVENTION ENCLOSURE
NOT TO SCALE
DATE: 09/2006

DRAWING ISSUE:

☐ CONCEPT

☐ CUSTOMER APPROVAL

☒ PERMITTING

☐ CONSTRUCTION

☐ AS-BUILT

☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

REGISTERED PROFESSIONAL ENGINEER
TIMOTHY J. BEHAN
No. 6278
11/07/2025

REVISIONS				
No.	Date	DRWN	CHKD	
1	07-29-25	SMA	TJB	
2	07-31-25	SMA	TJB	
3	09-02-25	SMA	TJB	
4	09-11-25	SMA	TJB	
5	11-07-25	SMA	TJB	

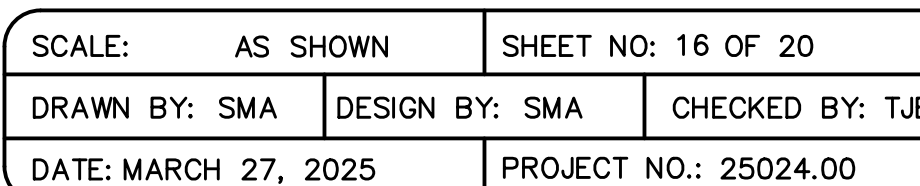
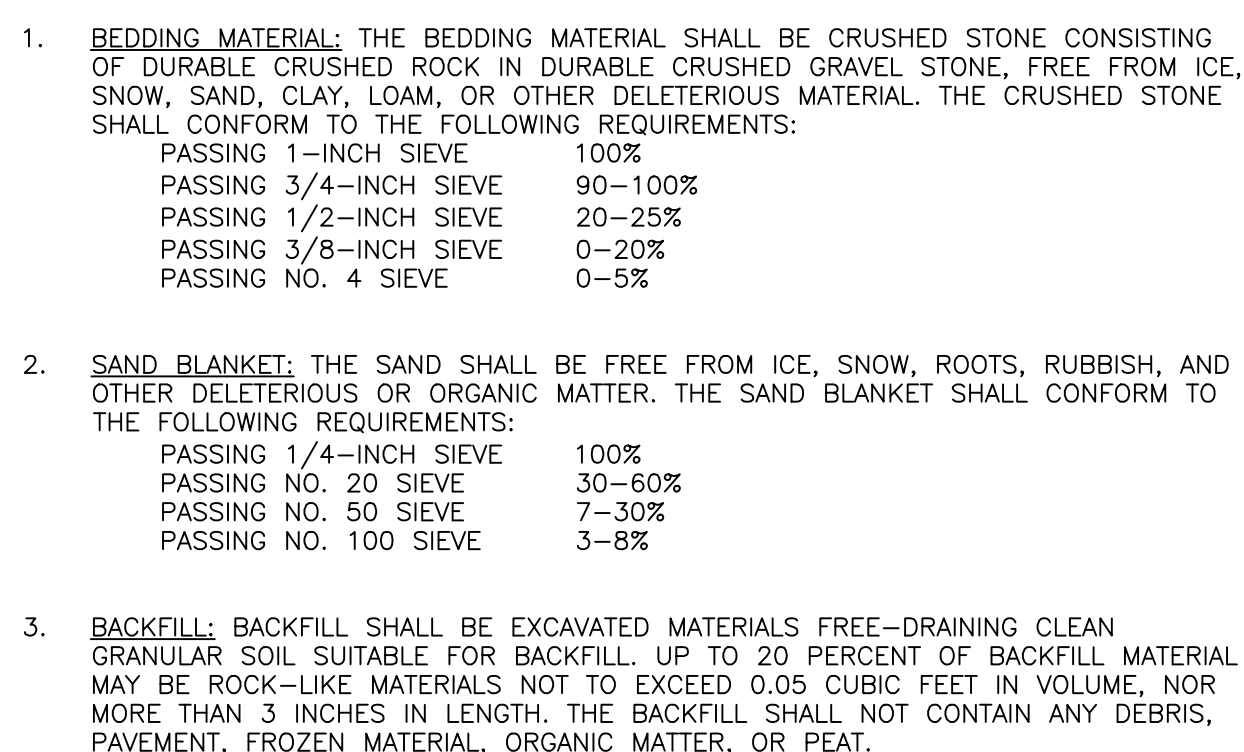
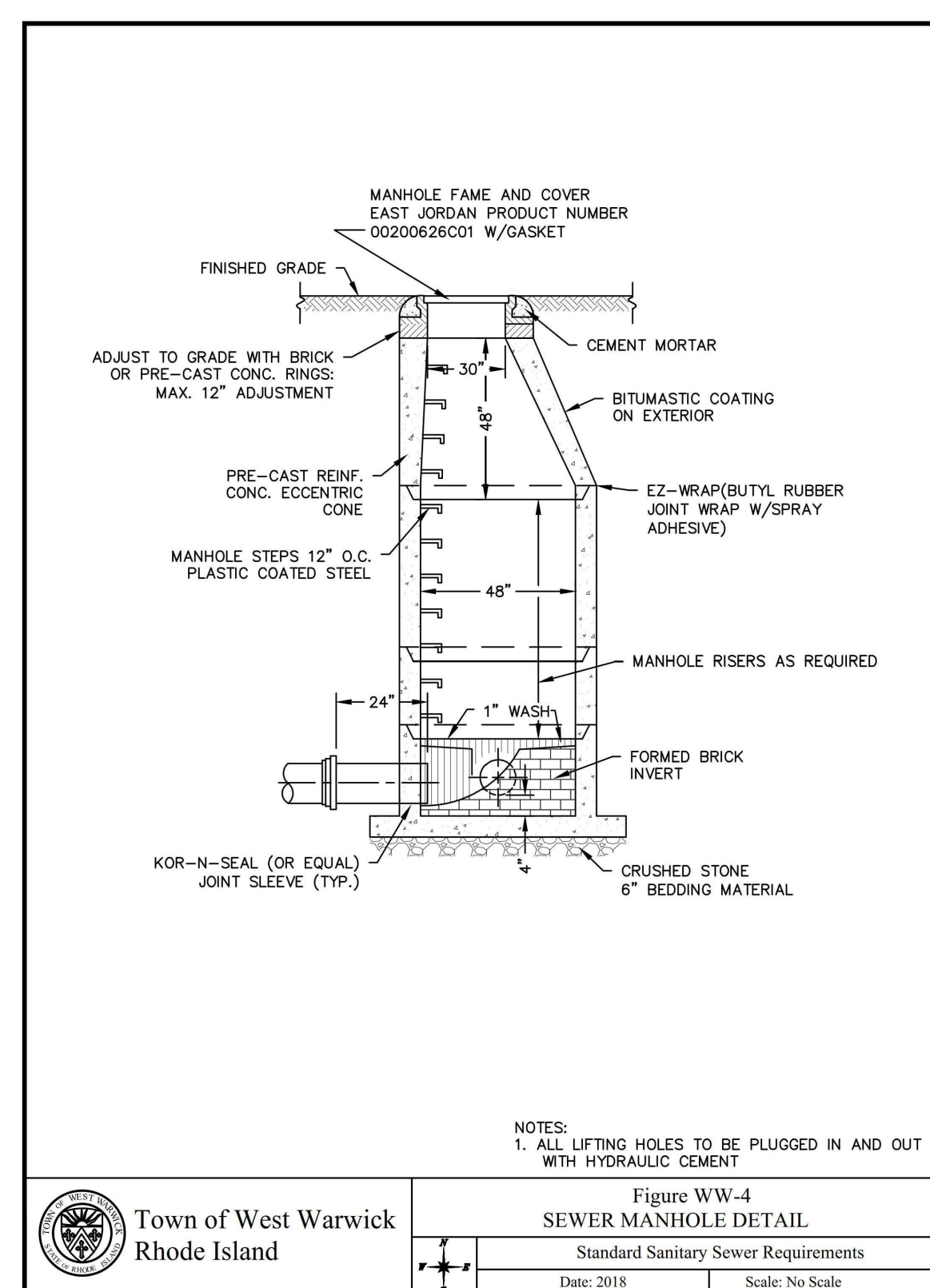
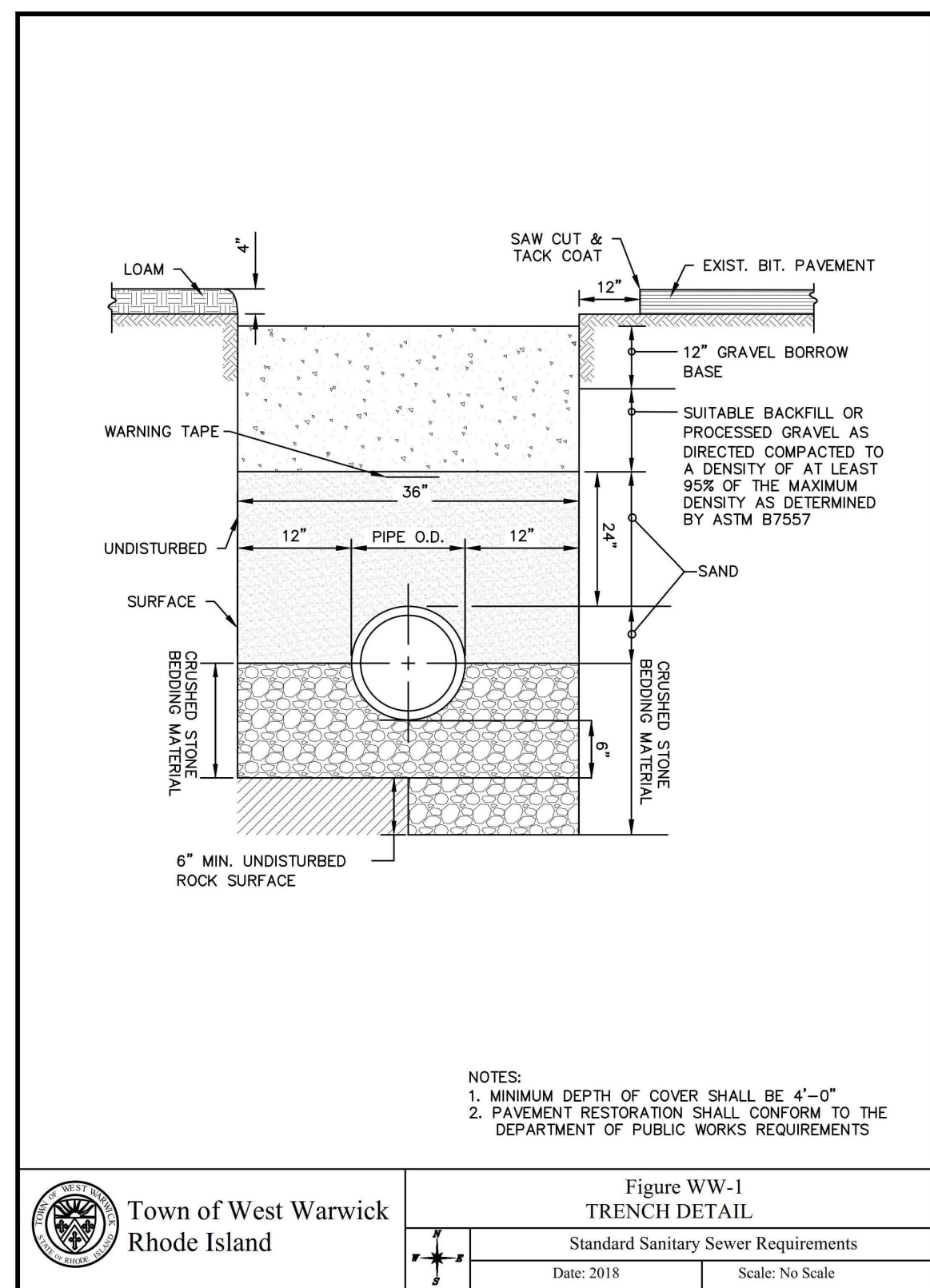
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT

FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-3

SCALE: AS SHOWN	SHEET NO: 15 OF 20	
DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB
DATE: MARCH 27, 2025	PROJECT NO.: 25024.00	



DRAINAGE SYSTEM—INSPECTION, MAINTENANCE & REPAIR:

1. SUBJECT PROPERTY OWNER SHALL MAINTAIN THE PROPOSED DRAINAGE SYSTEM COMPONENTS. A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND A MAINTENANCE COMPANY TRAINED AND EXPERIENCED WITH THE MAINTENANCE REQUIREMENTS DETAILED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL", LATEST EDITION KNOWN AS THE "MANUAL".
2. INSPECTIONS ARE ESSENTIAL FOR THE LONGEVITY OF THE DRAINAGE SYSTEMS. THE DRAINAGE SYSTEM SHOULD BE INSPECTED IN ACCORDANCE WITH THE "MANUAL" BY THE MAINTENANCE COMPANY. RECORDS OF INSPECTIONS SHALL BE MAINTAINED BY THE OWNER AND MAINTENANCE COMPANY. IN NO CASE SHALL LESS THAN TWO INSPECTIONS OCCUR EACH CALENDAR YEAR, TYPICALLY SPRING AND FALL. THE ENTIRE SYSTEM SHALL ALSO BE INSPECTED AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.7 INCHES OF RAIN).
3. INSPECTIONS SHALL BE IN ACCORDANCE WITH THE "MANUAL". A SUMMARY OF THE REQUIREMENTS ARE DESCRIBED BELOW THE MAJORITY OF WHICH IS TAKEN DIRECTLY FROM THE "MANUAL". THE INSPECTOR SHALL REFER TO THE "MANUAL" FOR ADDITIONAL INSIGHT ON INSPECTION METHODS AND REQUIREMENTS. ALL CHECKLISTS IN THE MANUAL SHALL BE FILLED OUT BY THE INSPECTOR. ALL DEFICIENCIES DISCOVERED SHALL BE BROUGHT TO THE OWNER'S ATTENTION IN WRITING.

DRAIN MANHOLES & CATCH BASINS:

- A. REMOVE TRASH AND LITTER.
- B. REPAIR ALL STRUCTURAL DEFECTS IMMEDIATELY.
- C. REMOVE ALL ACCUMULATED SEDIMENT AND DISPOSED OFF-SITE IN ACCORDANCE WITH STATE & FEDERAL REGULATIONS.

PIPES:

- A. ALL CLOGGED OR SEDIMENT FILLED PIPES WHICH ARE MORE THAN 10% SEDIMENT FILLED SHALL BE CLEANED OUT IMMEDIATELY. WHEN CLEANING OUT PIPES, ENSURE DOWNSTREAM AREAS ARE PROTECTED FROM SEDIMENT DISCHARGES. DISPOSE OFF-SITE IN ACCORDANCE WITH STATE & FEDERAL REGULATIONS.
- B. REMOVE TRASH AND LITTER.

INFILTRATION UNITS

- THE FOLLOWING GUIDELINES SHALL BE ADHERED TO FOR THE OPERATION AND MAINTENANCE OF THE CULTEC STORMWATER MANAGEMENT SYSTEM.
- A. THE OWNER SHALL KEEP A MAINTENANCE LOG WHICH SHALL INCLUDE DETAILS OF ANY EVENTS THAT HAVE AN EFFECT ON THE SYSTEM'S OPERATIONAL CAPACITY.
- B. THE OPERATION AND MAINTENANCE PROCEDURE SHALL BE REVIEWED PERIODICALLY AND CHANGED TO MEET SITE CONDITIONS.
- C. MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE PERFORMED BY QUALIFIED WORKERS AND SHALL FOLLOW APPLICABLE OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS.
- D. DEBRIS REMOVED FROM THE STORMWATER MANAGEMENT SYSTEM SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.

SUGGESTED MAINTENANCE SCHEDULES

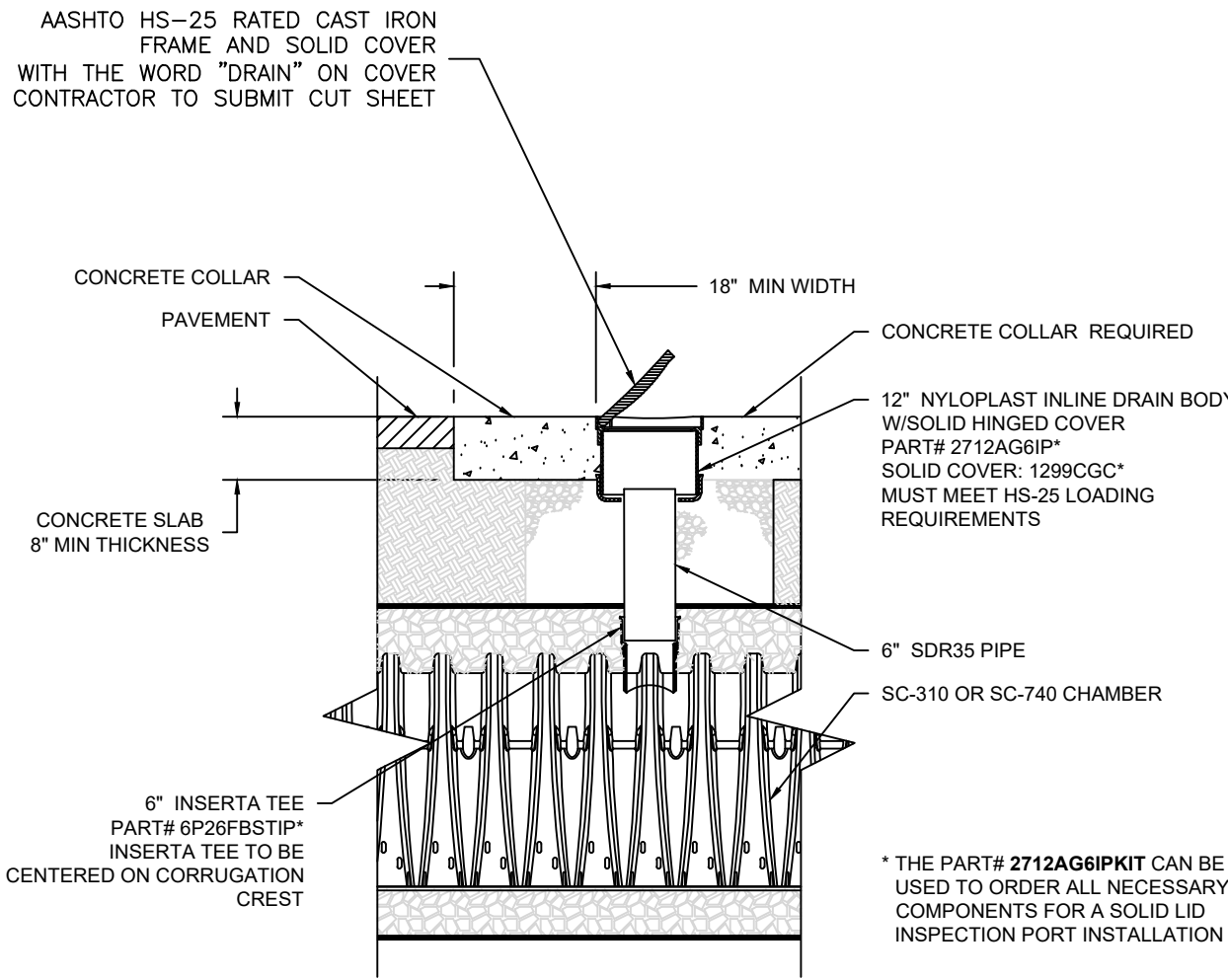
- A. MONTHLY IN FIRST YEAR: CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS, AS REQUIRED.
- B. SPRING AND FALL: CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS, AS REQUIRED.
- C. ONE YEAR AFTER COMMISSIONING AND EVERY THIRD YEAR FOLLOWING: CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS, AS REQUIRED.

ISOLATOR INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
- B.2. 3) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- i) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACK FLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



SC-310 & SC-740 6" INSPECTION PORT DETAIL
NOT TO SCALE

SC-310 & SC-740 STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH SC-310 & SC-740.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
- TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/(IN·IN) AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
- THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310 & SC-740 SYSTEM

1. STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
- STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm).
8. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
9. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

1. STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC310 & SC-740 CHAMBERS IS LIMITED:
- NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIERED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

DRAINAGE NOTES:

1. SOME STRUCTURES MAY REQUIRE SHALLOW FRAMES (4-INCH HEIGHT).
2. SHALLOW FRAMES TO BE MECHANICALLY FASTENED (BOLTED) TO STRUCTURES.
3. MOST STRUCTURES REQUIRE FLAT TOPS.
4. ALL CATCH BASINS SHALL HAVE 3-FOOT SUMPS MEASURED BELOW LOWEST INVERT.
5. SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR ALL DRAINAGE COMPONENTS.
6. ENGINEER SHALL INSPECT THE BOTTOM OF EACH INFILTRATION AREA PRIOR TO PLACEMENT OF CRUSHED STONE.
7. ENGINEER SHALL BE NOTIFIED A MIN. OF 24 HOURS BEFORE CONSTRUCTING ANY INFILTRATION SYSTEM OR UNDERGROUND LINED SAND FILTERS.
8. ALL FILL AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM BENEATH ALL INFILTRATION SYSTEMS.
9. ANY BACKFILL PLACED BELOW INFILTRATION SYSTEMS SHALL BE ASTM C-33 SAND.
10. SCARIFY BOTTOM PRIOR TO PLACEMENT OF STONE OR ASTM C-33 SAND.
11. DO NOT ALLOW SEDIMENT LADEN RUNOFF TO ENTER SYSTEM.
12. INSTALL FABRIC DROP OR SILT SACK IN EACH NEW CATCH BASIN AS FRAME AND GRATE IS INSTALLED.

RECOMMENDED MINIMUM TRENCH WIDTH	
PIPE DIAMETER IN. (MM)	TRENCH WIDTH IN. (M)
4 - 8 (100-200)	*
10 (250)	24 (0.6)
12 (300)	28 (0.7)
15 (375)	35 (0.9)
18 (450)	43 (1.1)
24 (600)	56 (1.4)
30 (750)	60 (1.5)
36 (900)	65 (1.7)
42 (1050)	84 (2.1)
48 (1200)	91 (2.3)
54 (1350)	97 (2.5)
60 (1500)	103 (2.6)

* USUALLY BASED ON SMALLEST BUCKET SIZE AVAILABLE

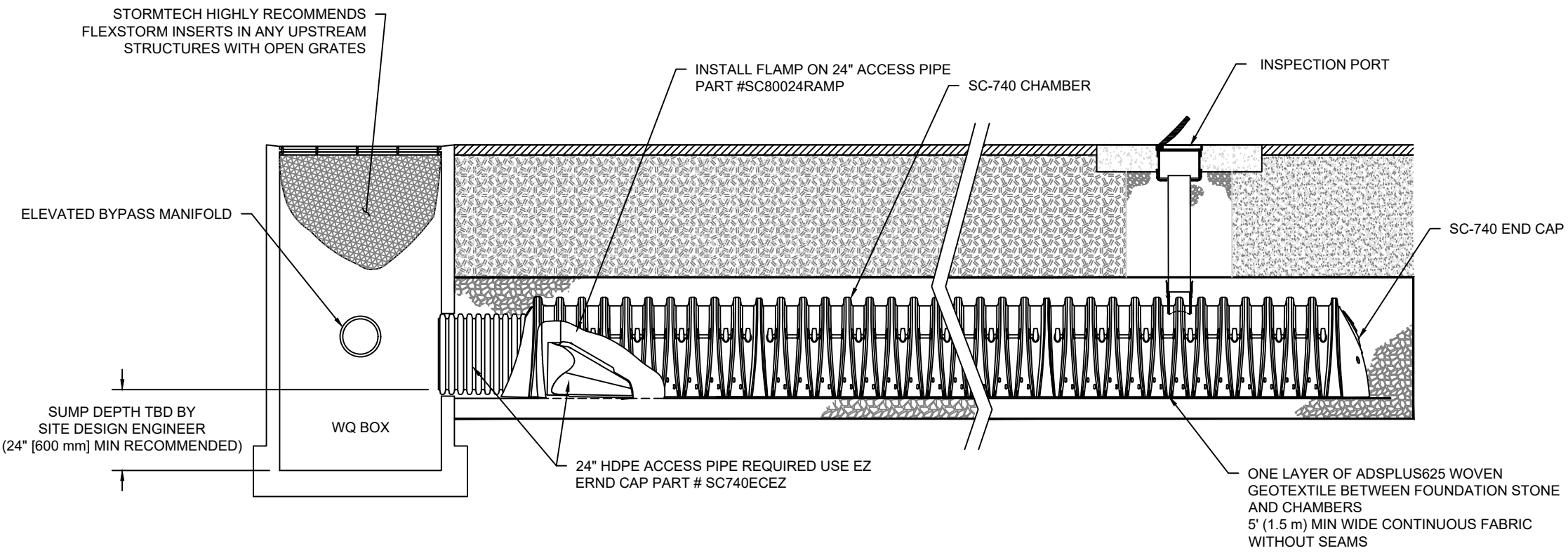
TYPICAL TRENCH INSTALLATION DETAIL
NOT TO SCALE

NOTE:

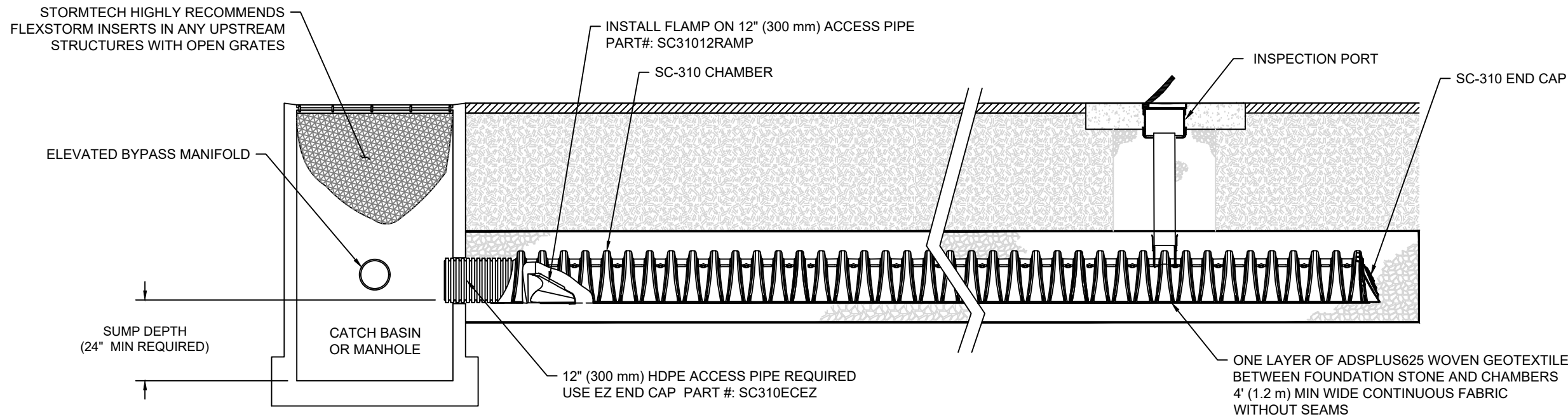
24-INCH COVER OVER THE CROWN OF THE PIPE IS PREFERRED, ADS N-12 HDPE PIPE MINIMUM COVER REQUIREMENTS (PER ASTM F2648) WITH AASHTO H-25 OR HS-25 LOAD FOR INSIDE DIAMETER OF 4" TO 48" MIN. COVER MAY BE REDUCED TO 12" (1-FOOT) OVER THE CROWN OF THE PIPE.

MATERIAL LOCATION	SPECIFICATION	COMPACTION
A FOUNDATION STONE	CLEAN, CRUSHED, ANGULAR STONE 3/4" TO 2"	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE
B EMBEDMENT STONE	CLEAN, CRUSHED, ANGULAR STONE 3/4" TO 2"	PLACE EVENLY IN 6-INCH LIFT, WALK INTO PLACE
C BITUMINOUS PAVEMENT SUBGRADE	GRAVEL BURROW, RIDOT TYPE IA OR IB	MIN. 95% MAX DENSITY AS DETERMINED BY MOD. PROCTOR

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 AND SC-740 CHAMBER SYSTEMS



SC-740 ISOLATOR ROW PLUS DETAIL
NOT TO SCALE



SC-310 ISOLATOR ROW PLUS DETAIL
NOT TO SCALE

OWNER:
STEPHEN T. JURCZYK
P.O. BOX 434
COVENTRY, RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401) 732-9300

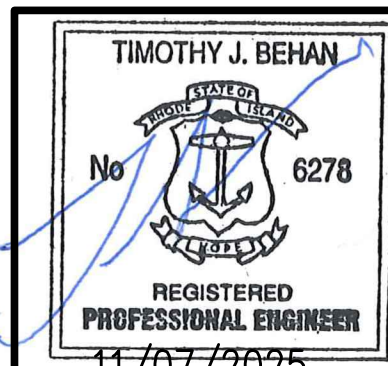
APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

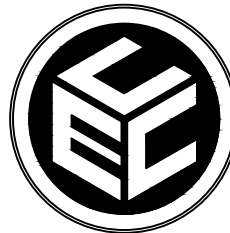
DRAWING ISSUE:

- ☐ CONCEPT
- ☐ CUSTOMER APPROVAL
- ☒ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



REVISIONS				
No.	DATE	DRWN	CHKD	
1	07-29-25	SMA	TJB	
2	07-31-25	SMA	TJB	
3	09-02-25	SMA	TJB	
4	09-11-25	SMA	TJB	
5	11-07-25	SMA	TJB	



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-5

SCALE:	AS SHOWN	SHEET NO: 17 OF 20
DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB
DATE: MARCH 27, 2025	PROJECT NO.: 25024.00	



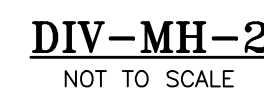
NOTE:

1. SYSTEM DIMENSION: 17.86(L)X 20.5(W)X 3.5'(H)
2. 4 ROWS OF 2 SC-740 CHAMBERS
3. 1-ROW INSTALLED AS AN ISOLATION ROW
4. 6" OF STONE BELOW THE CHAMBERS
5. 6" SPACING BETWEEN CHAMBERS
6. ESHGW ELEV.=246.0±



NOTE:

1. SYSTEM DIMENSION: 53.46(L)X 34.75(W)X 3.5'(H)
2. 7 ROWS OF 7 SC-740 CHAMBERS
3. 1-ROW INSTALLED AS AN ISOLATION ROW
4. 6" OF STONE BELOW THE CHAMBERS
5. 6" SPACING BETWEEN CHAMBERS
6. ESHGW ELEV.=241.0±



NOTE:

1. SYSTEM DIMENSION: 17.86(L)X 49.00(W)X 3.5'(H)
2. 10 ROWS OF 2 SC-740 CHAMBERS
3. 1-ROW INSTALLED AS AN ISOLATION ROW
4. 6" OF STONE BELOW THE CHAMBERS
5. 6" SPACING BETWEEN CHAMBERS
6. ESHGWT ELEV.=238.5±



OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

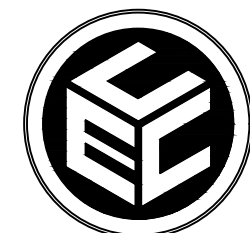
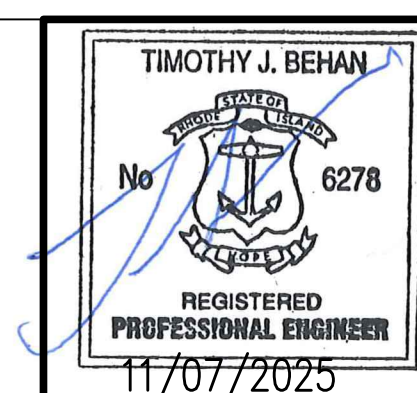
APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT

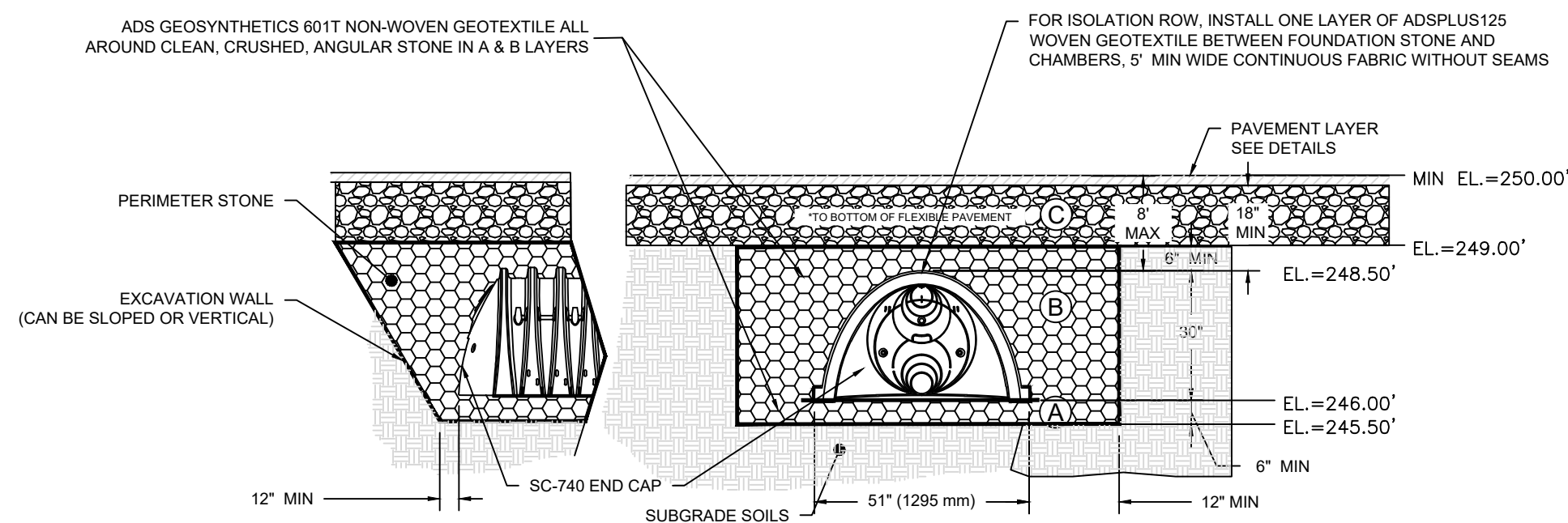
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND

CONSTRUCTION DETAILS-6

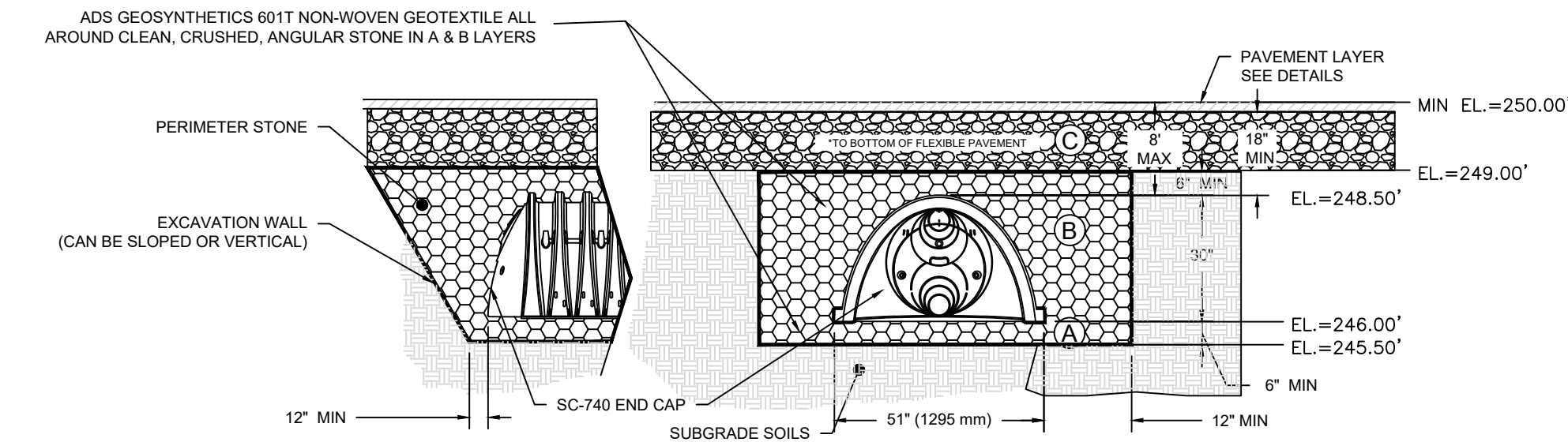
SCALE: AS SHOWN	SHEET NO: 18 OF 20
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DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB
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DATE: MARCH 27, 2025	PROJECT NO.: 25024.00
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BMP-4: STORMTECH SC-740 ISOLATION CHAMBERS CROSS SECTION
NOT TO SCALE

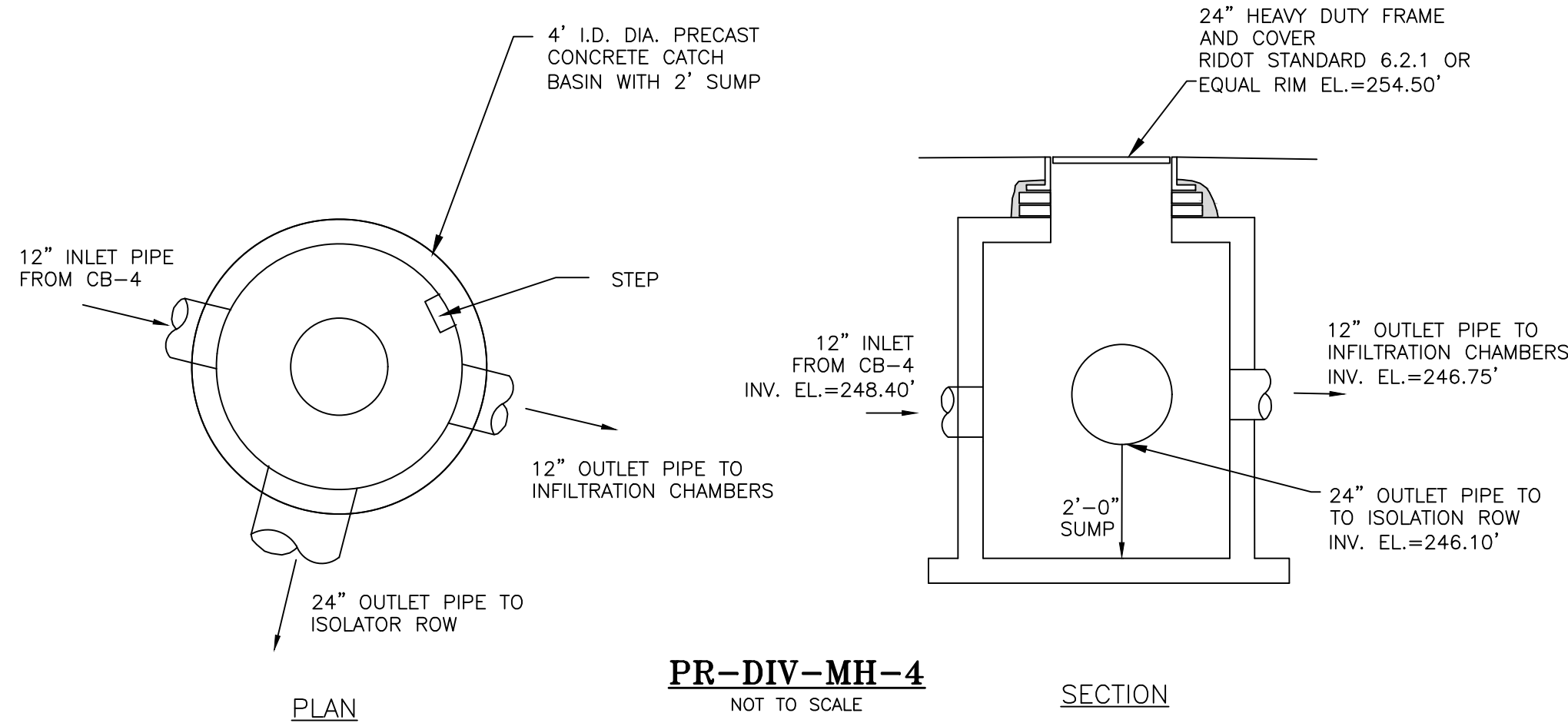


BMP-4: STORMTECH SC-740 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-4 WATER LEVELS

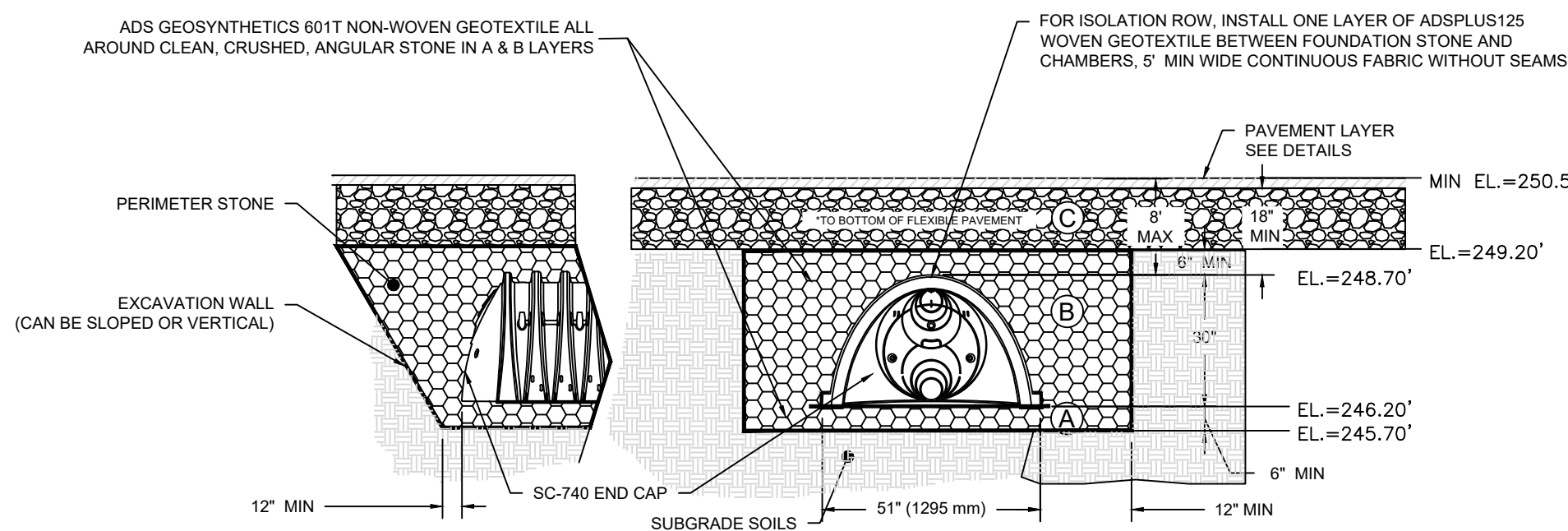
- NOTE:
1. SYSTEM DIMENSION: 53.46(L)X 15.75(W)X 3.5'(H)
 2. 3 ROWS OF 7 SC-740 CHAMBERS
 3. 1-ROW INSTALLED AS AN ISOLATION ROW
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=240.5±

WQ=245.51'
1-YR=245.52'
10-YR=246.35'
25-YR=247.01'
100-YR=248.91'

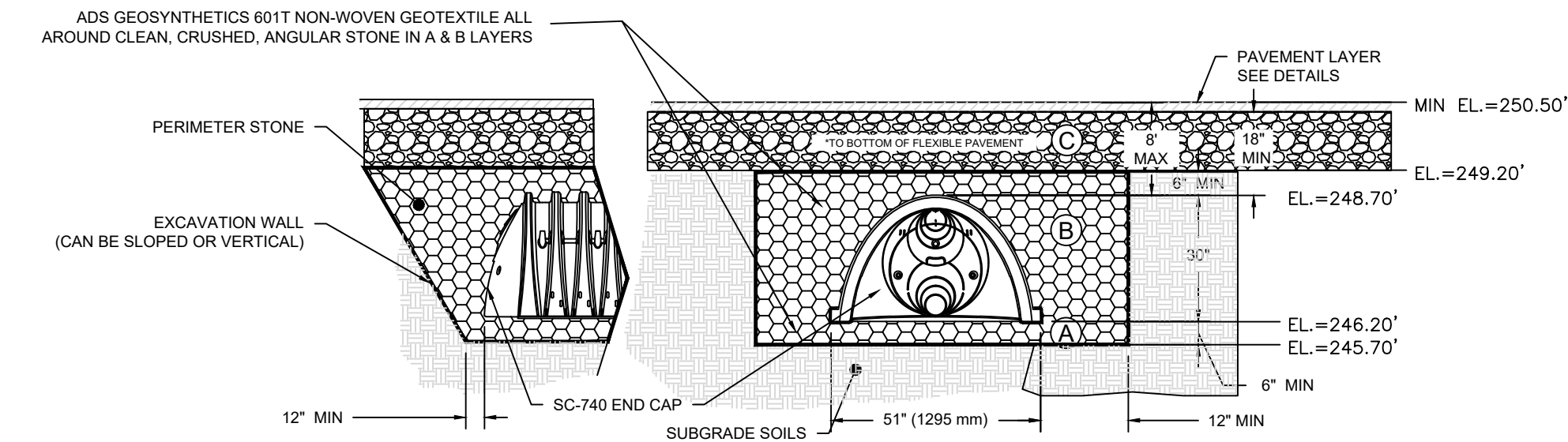


PR-DIV-MH-4
NOT TO SCALE

SECTION



BMP-5: STORMTECH SC-740 ISOLATION CHAMBERS CROSS SECTION
NOT TO SCALE

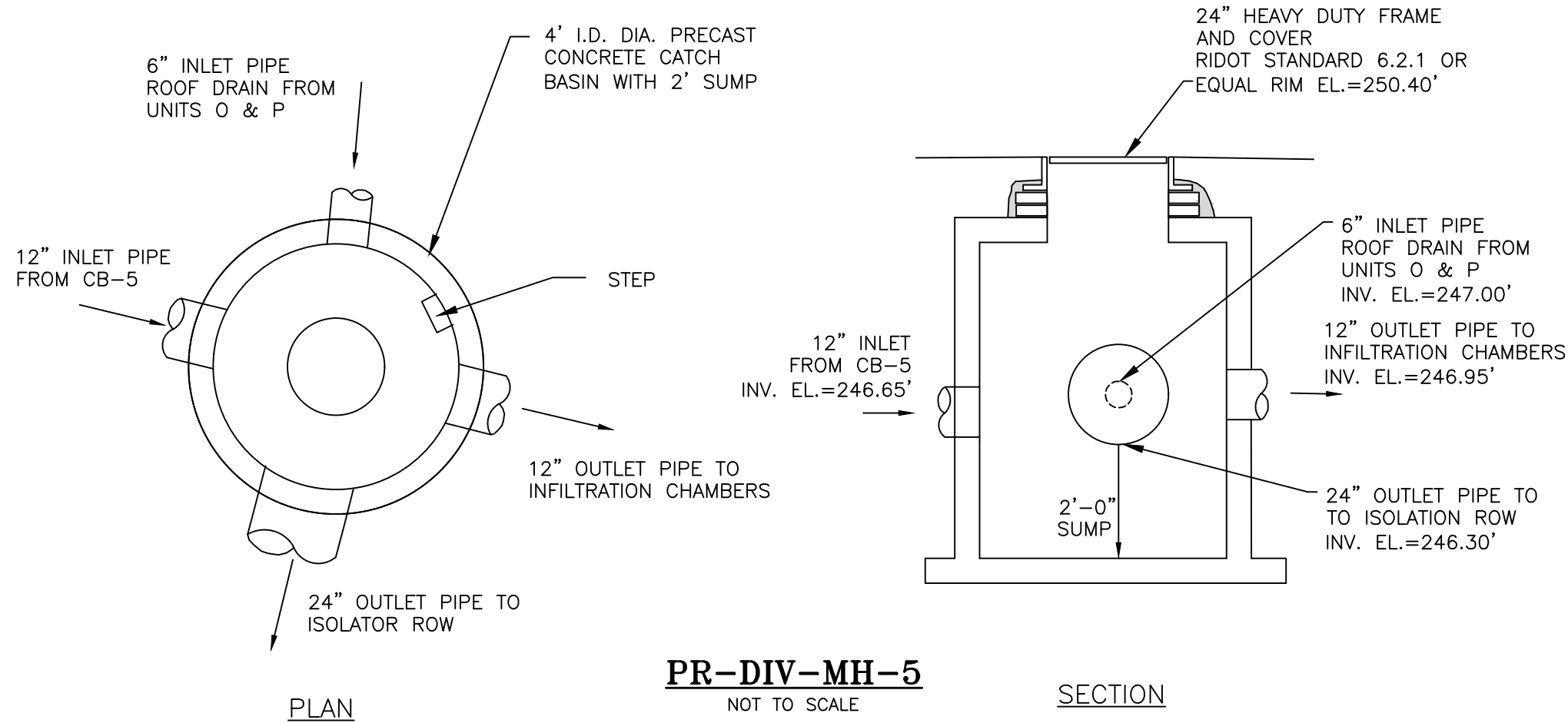


BMP-5: STORMTECH SC-740 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-5 WATER LEVELS

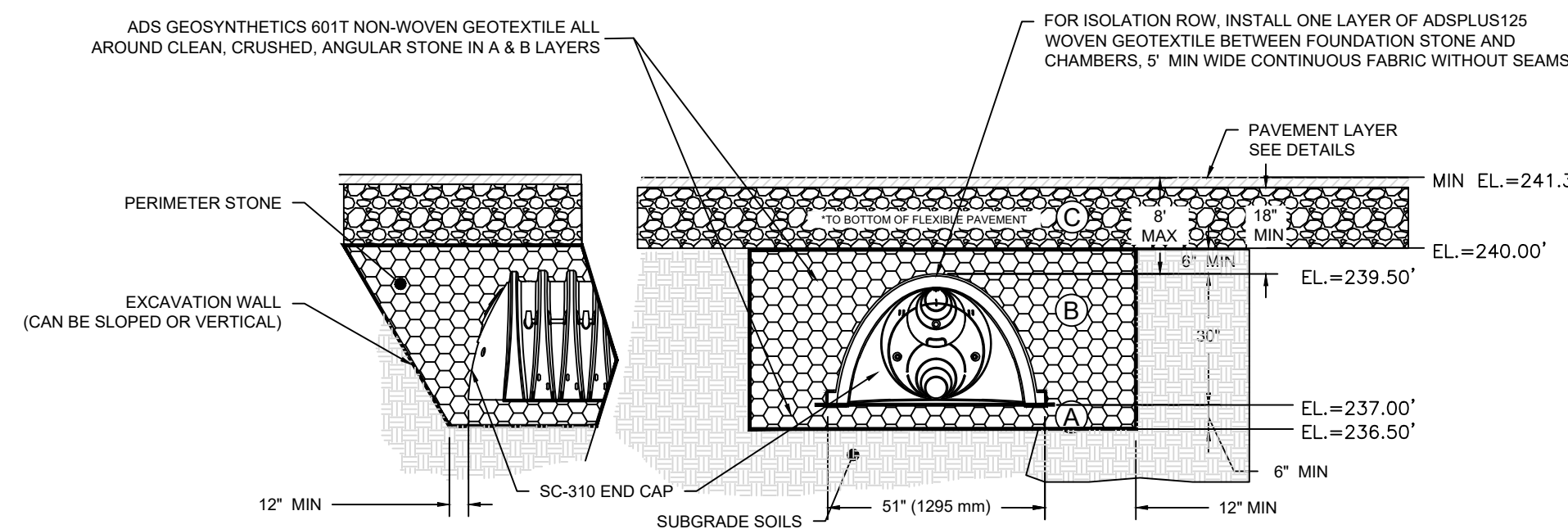
- NOTE:
1. SYSTEM DIMENSION: 46.35(L)X 20.50(W)X 3.5'(H)
 2. 4 ROWS OF 6 SC-740 CHAMBERS
 3. 1-ROW INSTALLED AS AN ISOLATION ROW
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=241.7±

WQ=246.21'
1-YR=246.21'
10-YR=247.03'
25-YR=247.70'
100-YR=249.62'

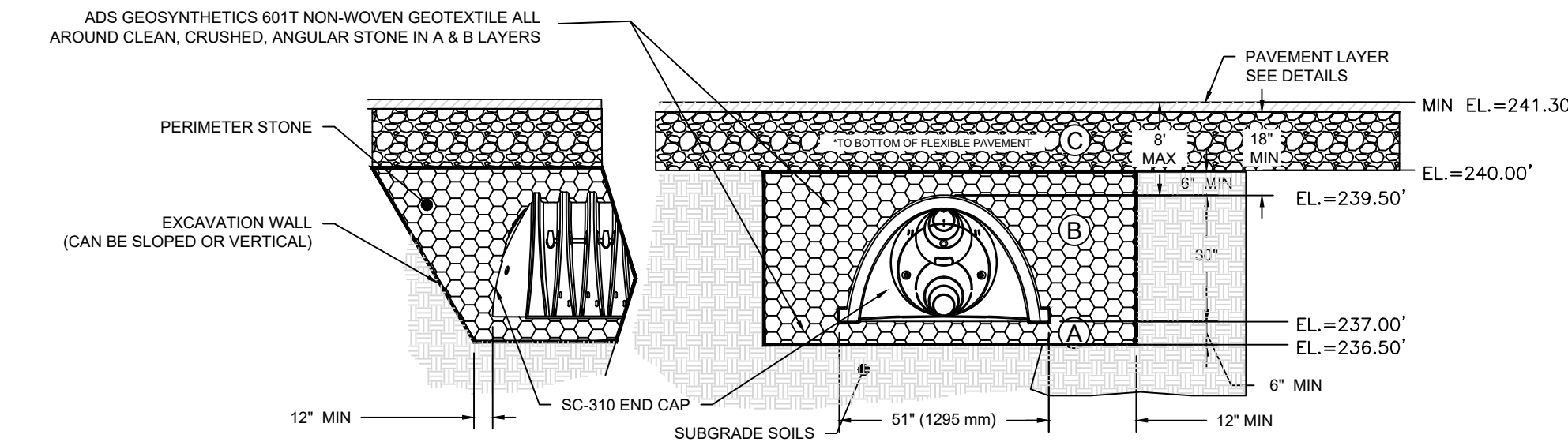


PR-DIV-MH-5
NOT TO SCALE

SECTION



BMP-6: STORMTECH SC-310 ISOLATION CHAMBERS CROSS SECTION
NOT TO SCALE

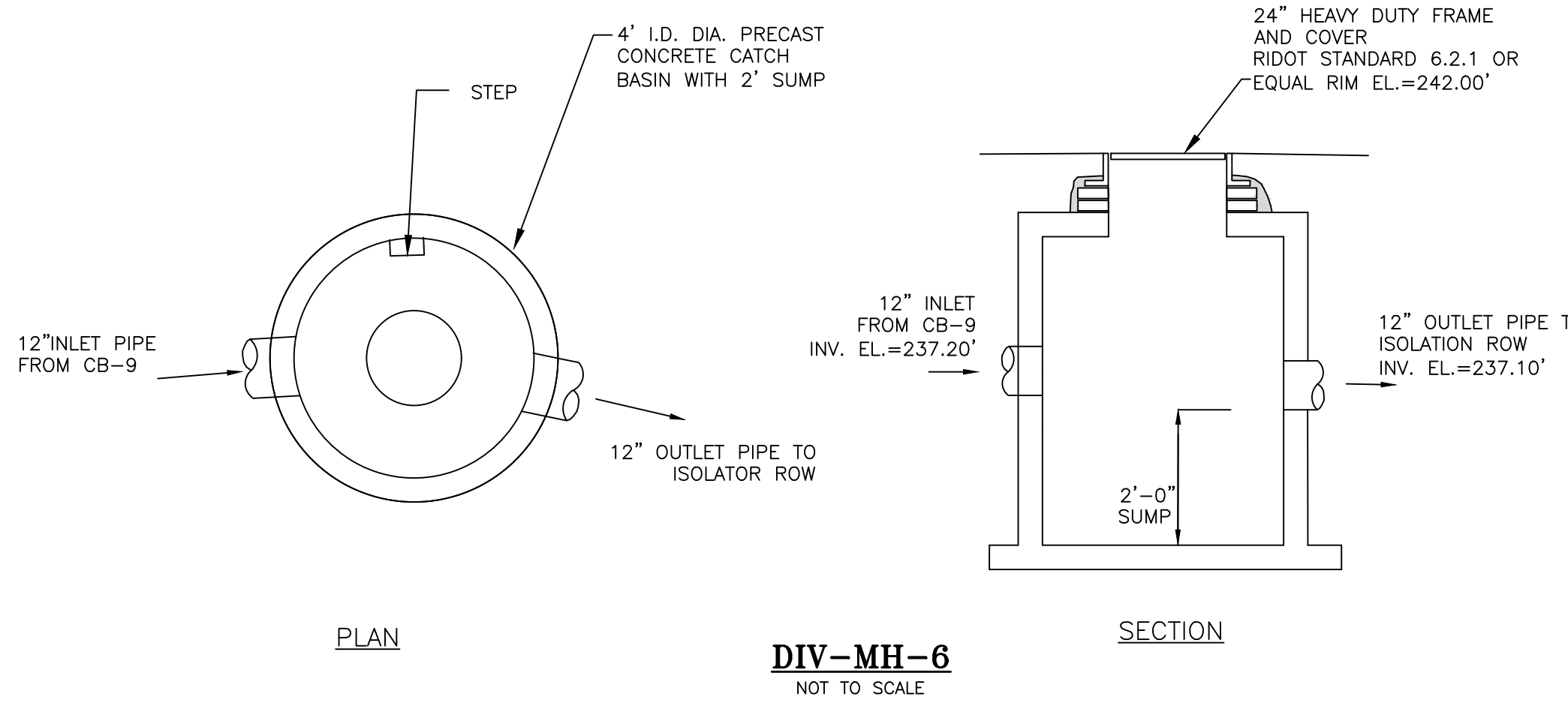


BMP-6: STORMTECH SC-310 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-6 WATER LEVELS

- NOTE:
1. SYSTEM DIMENSION: 10.32(L)X 11.50(W)X 2.33'(H)
 2. 3 ROWS OF 1 SC-310 CHAMBERS
 3. 1-ROW INSTALLED AS AN ISOLATION ROW
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=232.5±

WQ=236.63'
1-YR=238.76'
10-YR=238.78'
25-YR=238.79'
100-YR=238.81'



DIV-MH-6
NOT TO SCALE

SECTION

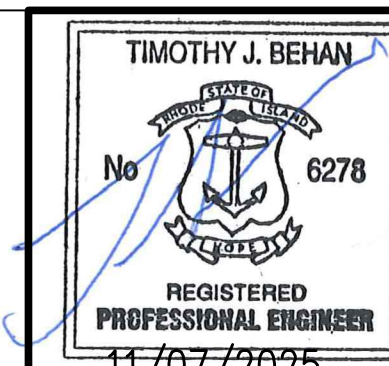
OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
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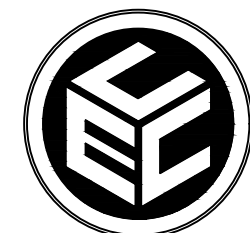
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PHONE: (401) 828-5800

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
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CONSTRUCTION SHALL BE USED FOR
CONSTRUCTION



REVISIONS				
No.	DATE	DRWN	CHKD	
1	07-29-25	SMA	TJB	
2	07-31-25	SMA	TJB	
3	09-02-25	SMA	TJB	
4	09-11-25	SMA	TJB	
5	11-07-25	SMA	TJB	

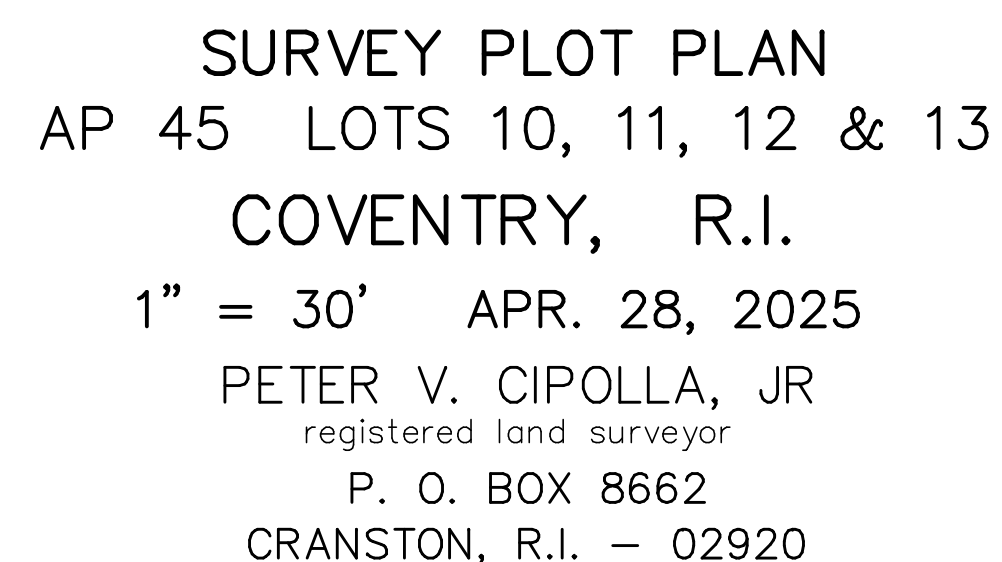


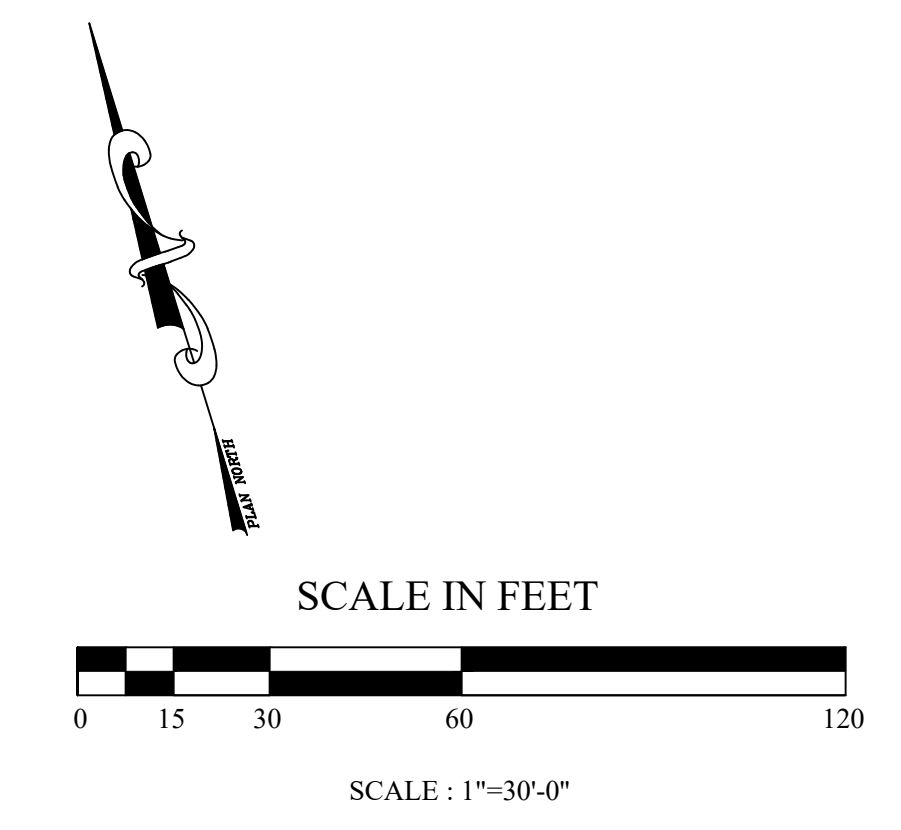
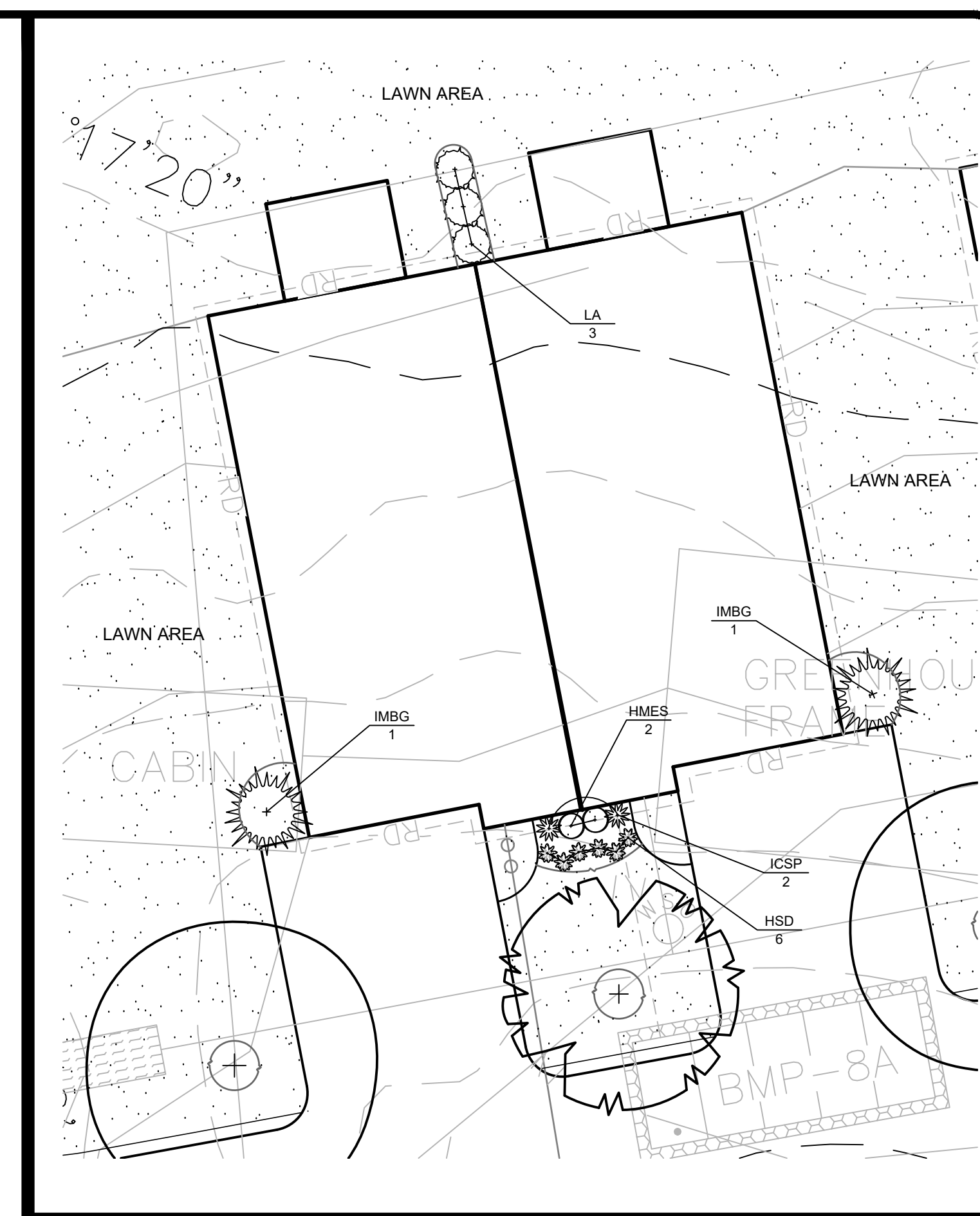
COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

**PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-7**

SCALE: AS SHOWN		SHEET NO: 19 OF 20	
DRAWN BY: SMA	DESIGN BY: SMA		CHECKED BY: TJB
DATE: MARCH 27, 2025		PROJECT NO.: 25024.00	

DATE: MARCH 27, 2025	PROJECT NO.: 25024.00
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Not Issued For Construction			
Revisions:	No.	Date:	Notes:

MDG
MUOIO DESIGN GROUP
 ~ Landscape Architecture ~
 1075 Schulte Avenue, Cranston, RI 02921
 P: (401) 481-4552 F: (401) 746-4500 E: info@mdgpa.com

LANDSCAPE PLAN

Siena Condominiums

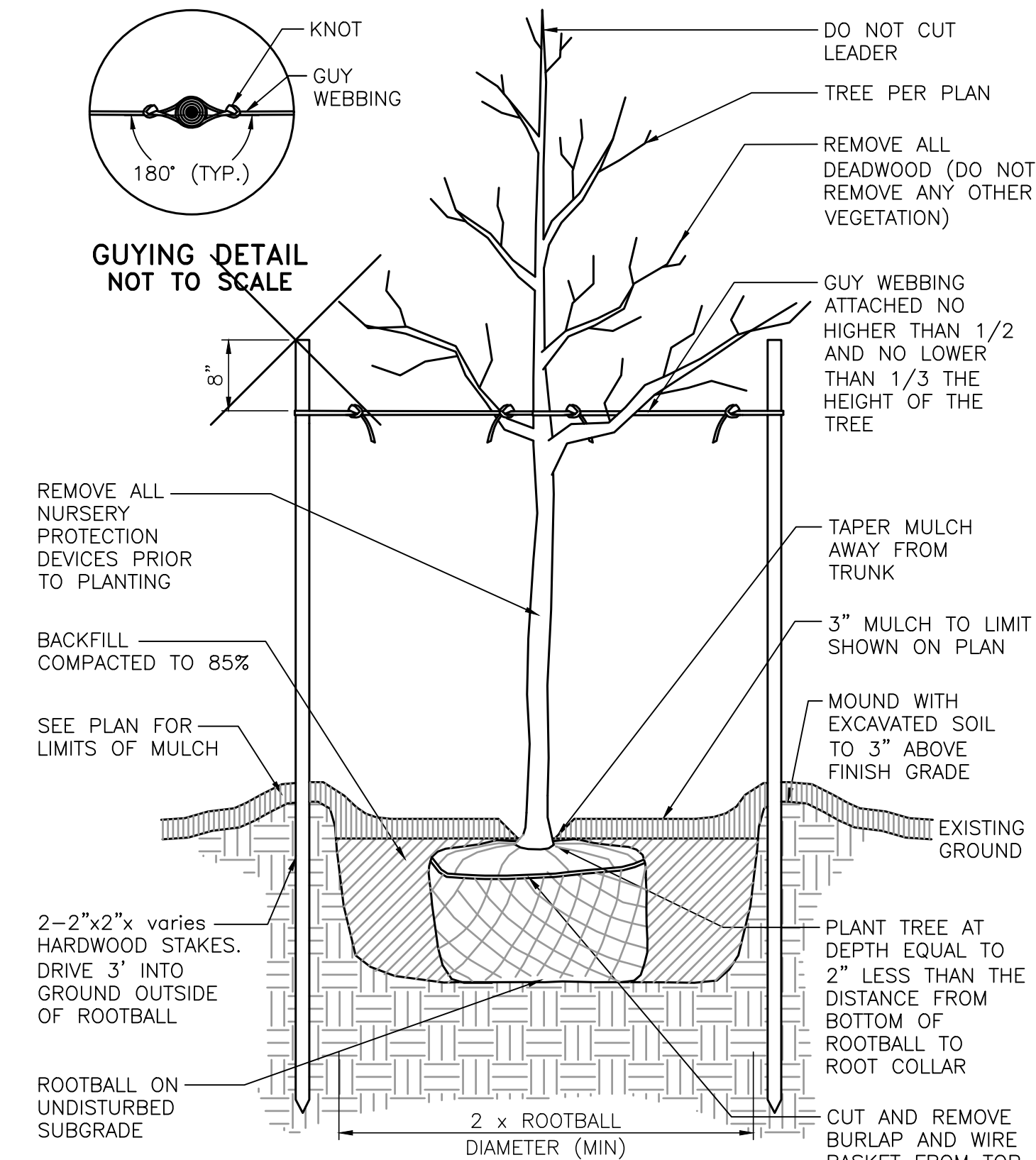
Assessor's Map 45, Lots 10, 11, 12 & 13 Main Street & Jurczyk
Coventry, Rhode Island

Job No: C-SienaCondos
Dwg. No: C-SiennaCondos_Base.dwg
Drawn by: BMM
Checked by: BMM
Issue Date: 10/26/25

PERMITTING
DOCUMENTS

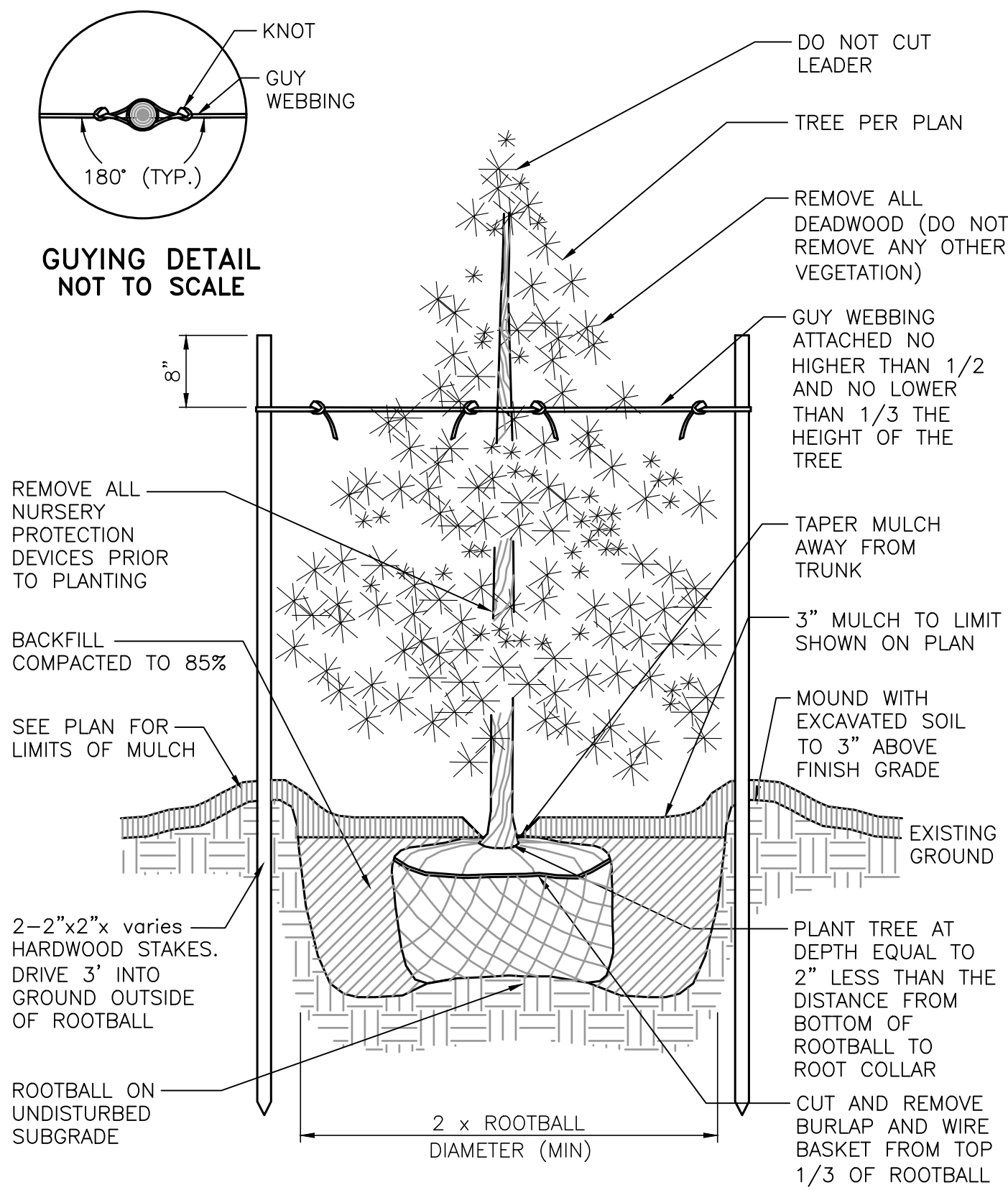
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PERMISSION IS PROHIBITED

Sheet 1 of 2



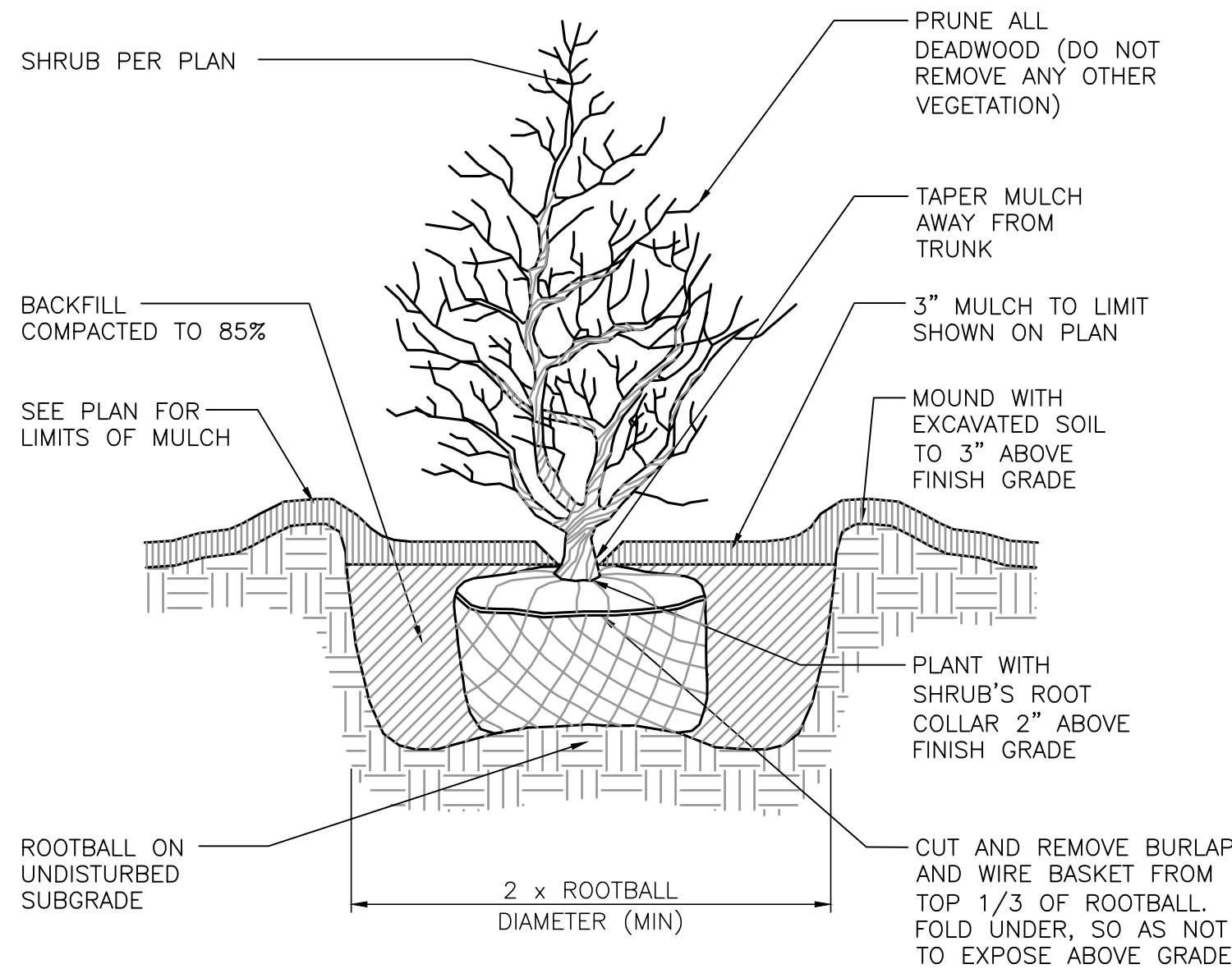
NOTE:
1. AFTER THE GUARANTEE PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUY WEBBING.

DECIDUOUS TREE STAKING AND PLANTING DETAIL NOT TO SCALE

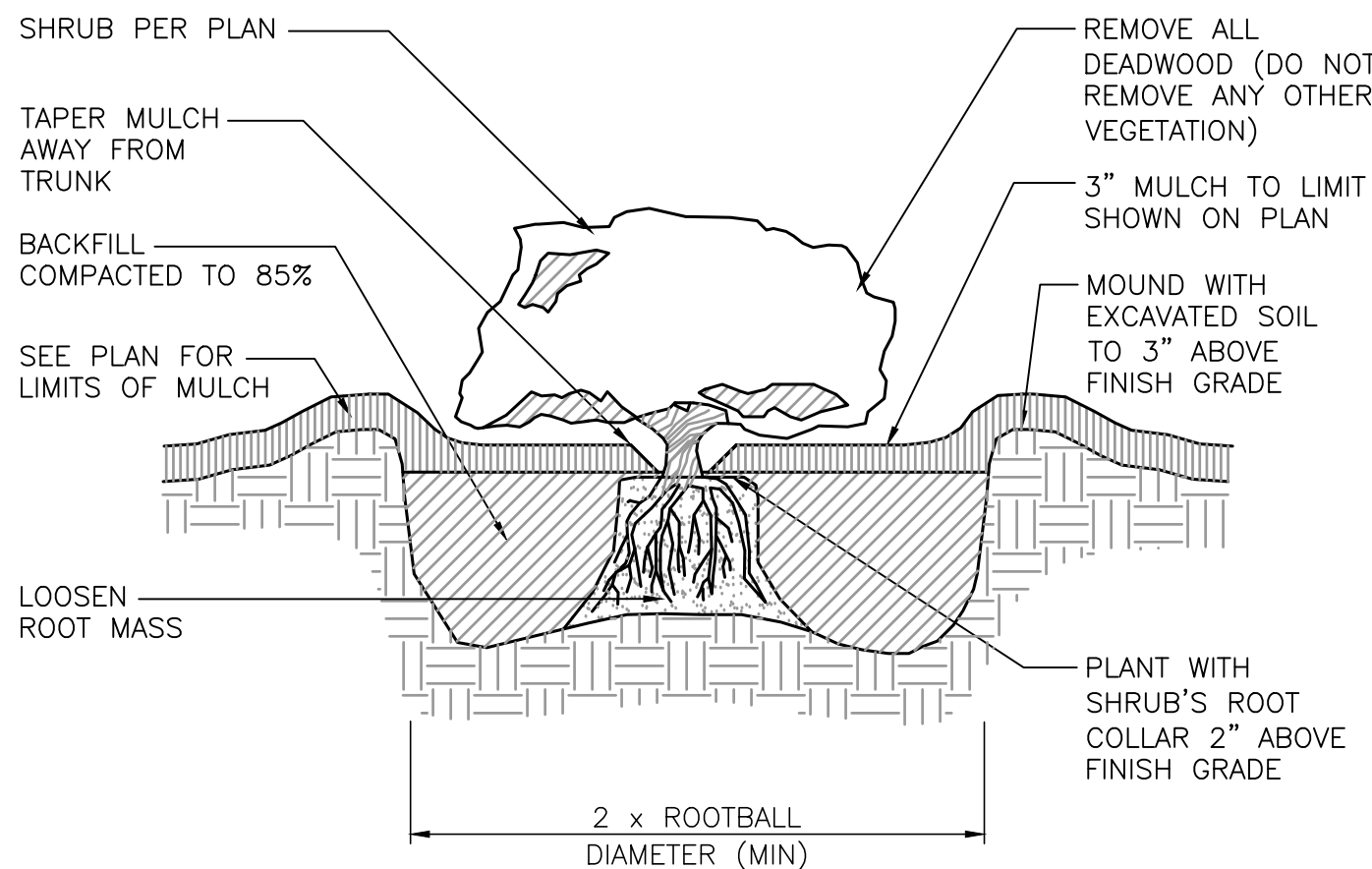


NOTE:
1. AFTER THE GUARANTEE PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUY WEBBING.

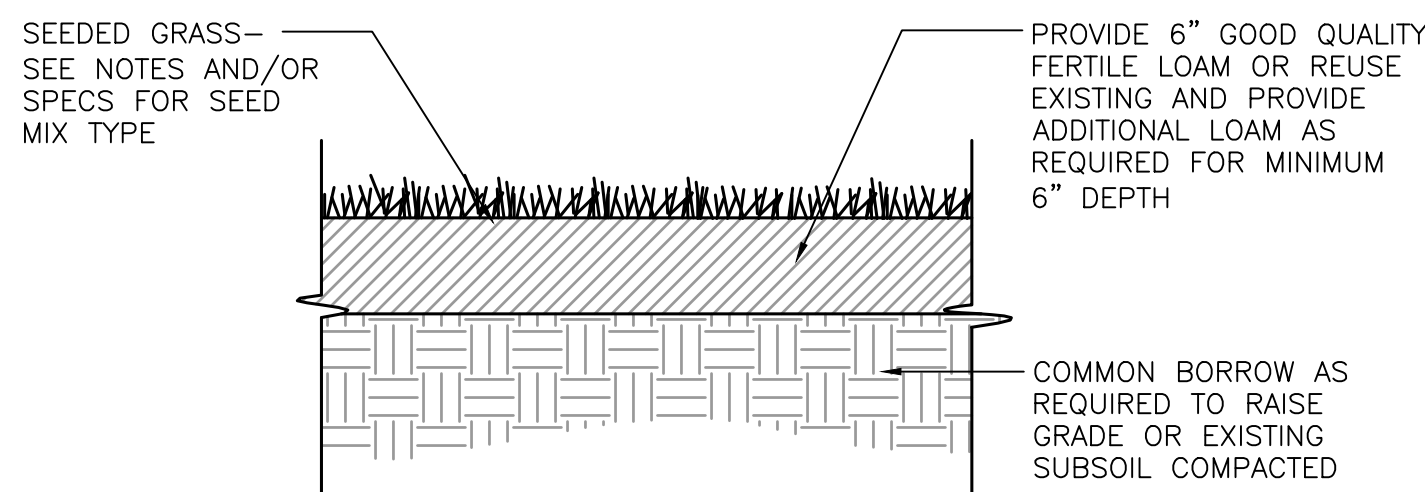
EVERGREEN TREE PLANTING DETAIL NOT TO SCALE



SHRUB PLANTING DETAIL NOT TO SCALE



CONTAINER GROWN TREE AND SHRUB PLANTING DETAIL NOT TO SCALE



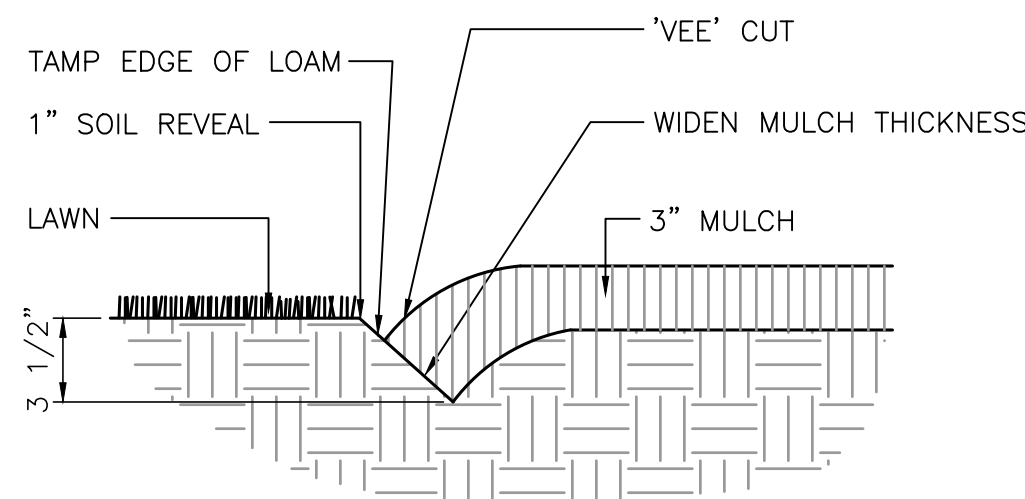
LOAM AND SEED DETAIL NOT TO SCALE

PLANTING NOTES:

- All plant material must be tagged in the ground, at the nursery by the Landscape Architect. All plant material shall be commercially obtained and shall meet the American Association of Nurseryman standards for nursery stock, latest edition, and its amendments. Plant only during season normal to the particular variety. All plant inspections will be at the expense of the contractor. Permanent seals will be required.
- Cover all planting beds with 3" shredded hardwood bark mulch within a seventy-two hour period after planting. See plan for bed layout.
- All existing and proposed trees shown in lawn areas shall receive a 4' diameter mulch bed. Mulch shall be placed to a depth of 3". Remove all sod, roots, sticks and stones prior to placement of mulch.
- All plant materials furnished by the contractor shall be guaranteed for a period of one year from final acceptance of landscape work.
- Stake all trees over 5' as shown on details. Remove stakes at the end of the guarantee period.
- The contractor is responsible for keeping the site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plans.
- The contractor shall perform all work in accordance with all local, state, and federal regulations, and shall obtain all necessary permits for this project.
- Layout: All notes and dimensions are typical unless otherwise noted. All dimensions are square (parallel or perpendicular) unless otherwise noted. The contractor shall notify the owner/owner's representative immediately in the event of any discrepancies found in the contract documents and/or in the field, or of conditions uncovered in the work which are not reflected in the plans.
- Loam: Loam moved during the course of construction shall be retained and distributed within the site in accordance with the landscape plan. Stockpiled loam shall not be mixed with any subsoil or unsuitable materials. All excess loam shall remain on the property of the owner. New loam if required to provide the specified depth, shall be a fertile, friable medium textured sandy loam free of material toxic to healthy plant growth. Loam shall also be free of all stumps, roots, stones and other extraneous matter an inch (1") or greater in diameter. The PH shall be between 5.5 and 7.5 when tested.
- Lawn Preparation: Remove all debris and other inorganic materials on the prepared subgrade, reshape and dress any damaged or eroded area prior to spreading the loam. Scarify and loosen subgrade in any areas where compaction may have occurred. Spread stockpiled and off-site loam on all disturbed areas to produce a depth of 6". Fine grade loamed areas to produce a smooth and unbroken finish grade to the required depth. Apply a starter fertilizer (10-20-10) at a rate of 20 lbs. per 1000 square feet and lime at a rate of 40 lbs. per 1000 square feet. Once spread, the fertilizer and lime shall be thoroughly incorporated into the loam. The loam shall be rolled, and depression shall be top dressed and raked to create a smooth surface.
- Seeding: Seeding shall take place between March 15 and May 31 or August 15 and October 15 only. Seed shall be pure, live, fresh seed from commercial sources meeting and labeled in accordance with State and Federal rules and regulations. The seed mixture shall be:

Proportion by Type	Weight	Pur.	Germ.
Palmer Perennial Ryegrass	20.0%	99%	90%
Ranger Perennial Ryegrass	20.0%	99%	90%
Baron Kentucky Bluegrass	30.0%	95%	85%
Merion Kentucky Bluegrass	30.0%	95%	85%
Inert Materials	2.5% (maximum)		

Seeded areas shall, at a minimum, include all areas of the site that have been disturbed or are barren unless otherwise noted on the plans. Seed shall be applied at a rate of 7 lbs. per 1000 square feet.
- Protection of Existing Plantings: Maximum effort should be made to save tree or other plant specimens which are large for their species, rare to the area, or of special horticultural or landscape value. Contact owner/landscape architect before removing any specimen of this type unless otherwise noted on the plans. No material or temporary soil deposits shall be placed within the drip line of shrubs or trees designated on the landscape plan to be retained. Protective barriers are to be installed around each plant and/or group of plants that are to remain on the site. Barriers shall not be supported by the plants they are protecting, but shall be self supporting. They shall be of minimum of four feet (4') high and constructed of a durable material, such as snow or silt fence, that will last until construction is completed.
- Pruning: The contractor shall carefully prune branches in the way of construction by using only approved methods and tools. The use of axes for trimming or spurs for climbing will not be permitted.
- Existing Utilities: In accordance with Dig-Safe law (1-800-225-4977), the contractor shall contact all applicable utility companies and verify utility line locations. The contractor shall be solely responsible for any/all utility damage. Record locations of Dig-Safe utility line markings on project record documents.
- Disturbed Areas: Any areas disturbed during the course of construction are to be restored to original (or better) condition by contractor before completion of the project, and are subject to approval by landscape architect and owner. All grass areas disturbed during construction shall be yolk raked to remove stones and loamed and seeded as per specifications.
- Drainage Systems: Contractor is responsible for general clean-out of all catch basins, manholes, and/or other drainage features on the site which have accumulated sediment as a result of construction activities.
- Cleaning: Contractor is responsible for keeping site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plan.



NOTE: LOCATE BEDLINE AS SHOWN ON PLAN.

BEDLINE EDGE DETAIL NOT TO SCALE



Not Issued For Construction

Revisions: No. Date: Notes:

MDG
MUOIO DESIGN GROUP
LANDSCAPE ARCHITECTS

1075 Shattuck Avenue, Canton, MA 02021
Tel: 617/447-4951 Fax: 617/447-4952 web: mdgdesigngroup.com

LANDSCAPE DETAILS PLAN

Sienna Condominiums

Assessor's Map 45, Lots 10, 11, 12 & 13 Main Street & Junczysk
Coventry, Rhode Island

Job No: C-SiennaCondos
Dwg. No: C-SiennaCondos_Base.dwg
Drawn by: BMM
Checked by: BMM
Issue Date: 10/26/25

PERMITTING DOCUMENTS

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