

PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
PRELIMINARY PLAN APPLICATION
ASSESSOR’S MAP 45, LOTS 10, 11, 12 & 13
MAIN STREET & JURCZYK COURT
in
COVENTRY, RHODE ISLAND

PERMITTING NOTE:

THE FOLLOWING LOCAL, STATE, FEDERAL AND OTHER PERMITS/ APPROVALS SHALL BE REQUIRED FOR THE PROPOSED PROJECT:

STATE

- 1. RIDOT PAP
- 2. RIDEM STORMWATER
- 3. RIDEM RIPDES (SOIL EROSION)
- 4. RIDEM FRESHWATER WETLANDS

OTHER

- 1. KENT COUNTY WATER AUTHORITY (KCWA): 09/24/2025
- 2. COVENTRY SEWER AUTHORITY: 10/14/2025
- 3. LOCAL FIRE DEPARTMENT APPROVAL: 08/01/2025

PLAN NOTE:

- 1. ONLY PLANS STAMPED 'ISSUED FOR CONSTRUCTION' AFTER RECEIPT OF LOCAL/STATE APPROVALS SHALL BE USED FOR CONSTRUCTION.

WAIVER REQUEST:

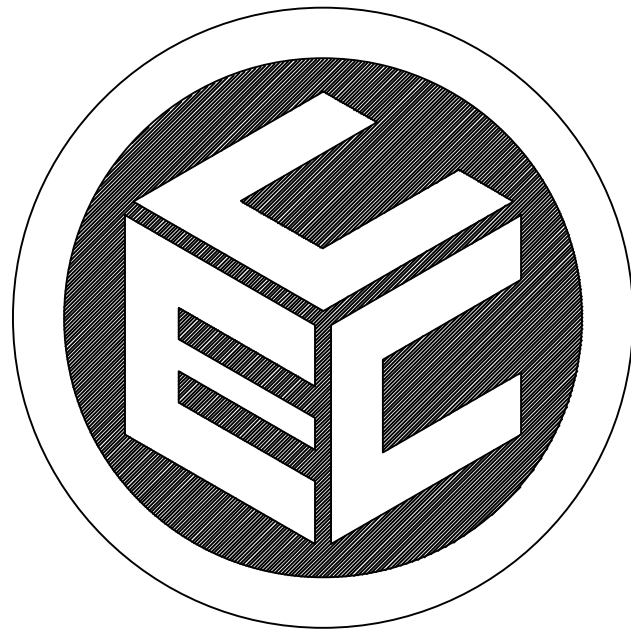
THE FOLLOWING WAIVERS ARE BEING REQUESTED:

MAJOR LAND DEVELOPMENT PROJECT CHECKLIST WAIVERS:
SEVERAL CHECKLIST ITEMS ARE REQUIRED AT THE PRELIMINARY PLAN STAGE, SUCH AS RIDEM AND RIDOT PERMITS. AT THIS TIME, WE ARE REQUESTING THE FOLLOWING LIST OF CHECKLIST WAIVERS LISTED BELOW BE DEFERRED TO THE FINAL PLAN:

- 1. LINE 57: WETLANDS AND STORMWATER HAVE BEEN SUBMITTED TO RIDEM. PERMITS HAVE NOT BEEN ISSUED AS OF NOVEMBER 6, 2025, SEE APPENDIX-7.
- 2. LINE 65: WETLANDS AND A PHYSICAL ALTERATION PERMIT APPLICATION HAVE BEEN SUBMITTED. PERMITS HAVE NOT BEEN ISSUED AS OF NOVEMBER 6, 2025, SEE APPENDIX-7.
- 3. LINE 66: AN APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN. --SUBMITTED TO TOWN ENGINEER FOR REVIEW AT THIS TIME.

SUBDIVISION AND LAND DEVELOPMENT REGULATION WAIVERS:

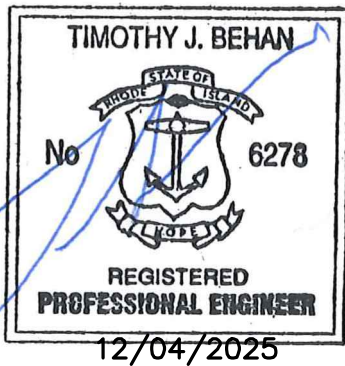
1. ARTICLE VIII (E)4: COMMUNICATION LINES (ELECTRIC, TELEPHONE, AND CABLE TV)
ALL ELECTRIC, COMMUNICATION (TELEPHONE, FIRE ALARM AND CABLE TV) AND STREET LIGHTING LINES SHALL BE INSTALLED UNDERGROUND.



PREPARED BY:
COMMONWEALTH
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400 SMITH STREET
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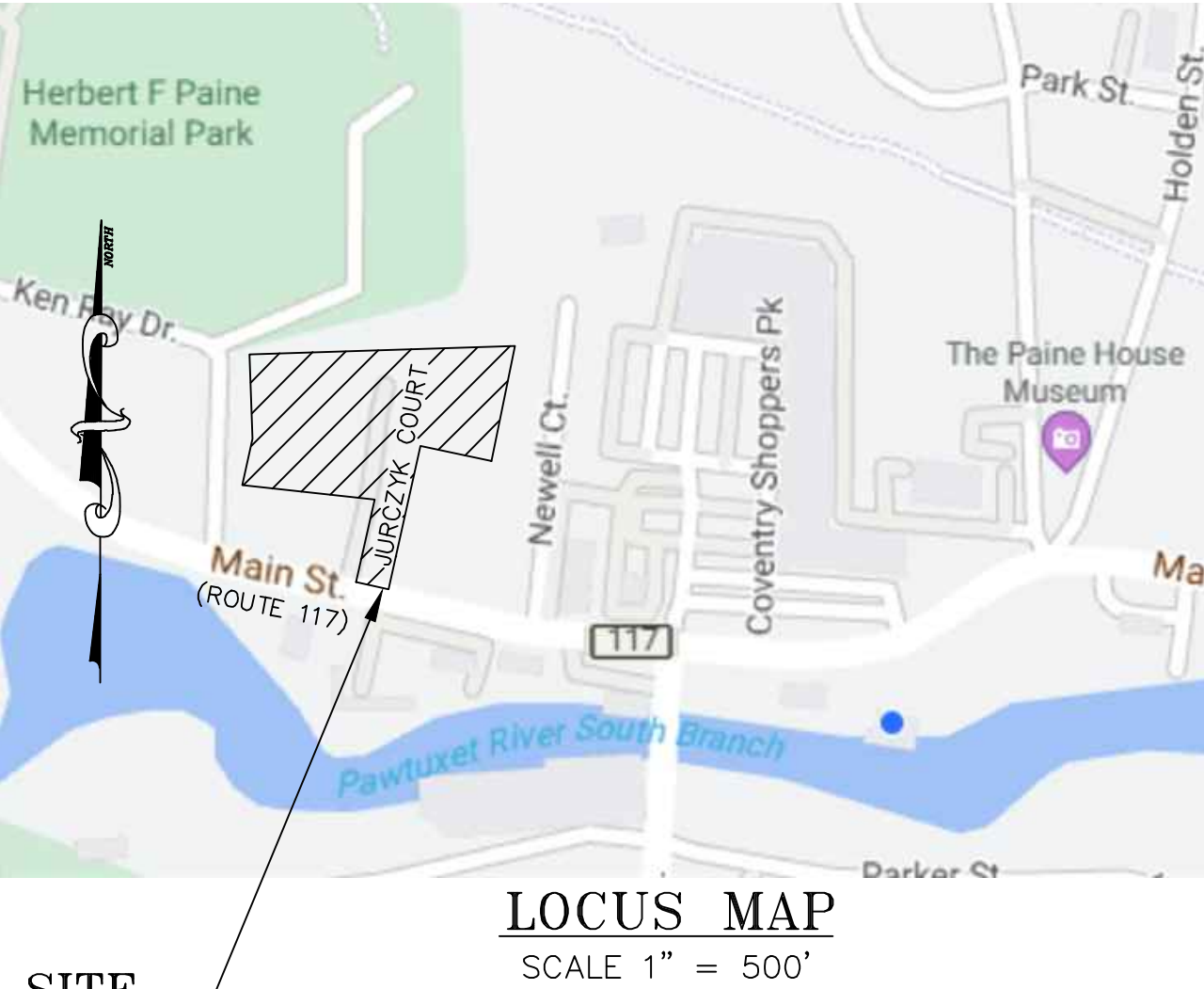
DATE: MARCH 27, 2025
REVISION-1: JULY 29, 2025
REVISION-2: JULY 31, 2025
REVISION-3: SEPTEMBER 2, 2025
REVISION-4: SEPTEMBER 11, 2025
REVISION-5: NOVEMBER 7, 2025
REVISION-6: DECEMBER 4, 2025



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LEGAL COUNCIL:
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SHEET INDEX

- 1. TITLE SHEET
 - 2. LEGEND, NOTES AND ABBREVIATIONS
 - 3. 500-FOOT RADIUS PLAN
 - 4. EXISTING CONDITIONS PLAN
 - 5. PROPOSED LAYOUT PLAN
 - 6. PROPOSED GRADING PLAN
 - 7. PROPOSED DRAINAGE PLAN
 - 8. PROPOSED UTILITY PLAN
 - 9. PROPOSED ROADWAY PROFILE PLAN-1
 - 10. PROPOSED ROADWAY PROFILE PLAN-2
 - 11. PROPOSED ROOF AND FOUNDATION DRAIN PLAN
 - 12. SOIL EROSION AND SEDIMENT CONTROL PLAN
 - 13. CONSTRUCTION DETAILS-1
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 - 18. CONSTRUCTION DETAILS-6
 - 19. CONSTRUCTION DETAILS-7
 - 20. CONSTRUCTION DETAILS-8
 - 21. "SURVEY PLOT PLAN, AP45, LOTS 10, 11, 12 &13"
BY PETER V. CIPOLLA
- L-1 LANDSCAPE PLAN
L-2 LANDSCAPE DETAILS PLAN

ZONING CRITERIA:

SUBJECT LOT = A.P. 50 LOTS 10, 11, 12 & 13
AREA = 96,852 S.F. (2.2 AC.+/-)
UPLAND AREA = 96,852 S.F. (2.2 AC.+/-)
ZONE: VCM - VILLAGE MAIN STREET COMMERCIAL
PUBLIC WATER & SEWER PROPOSED
FIRE SERVICE BY CENTRAL FIRE DISTRICT

ZONING REGULATIONS SECTION 255-610 TABLE 6-2

CRITERIA	REQUIRED	PROPOSED
MINIMUM LOT AREA:	7,500 SQ. FT	96,852 SQ. FT.
MINIMUM LOT FRONTAGE	80'	86.8'±
MINIMUM BUILDING HEIGHT:	35'	<35'
MAXIMUM LOT COVERAGE:	60%	39.6%
FRONT SETBACK:	10'	>20'
INTERIOR SIDE SETBACK:	10'	>20'
CORNER SIDE SETBACK:	10'	>20'
REAR SETBACK:	20'	>20'

PROPOSED DENSITY:

16 UNITS ON 2.2 AC. = 7.27 UNITS/ACRE

PARKING CALCULATIONS:

16 UNITS X 2 SPACES/UNIT = 32 REQUIRED

1 SPACE PER GARAGE X 16 GARAGES = 16 SPACES
2 SPACES PER DRIVEWAY X 16 DRIVEWAYS = 32 SPACES
TOTAL SPACES PROVIDED = 48 SPACES > 32 REQUIRED.

IMPERVIOUS CALCULATION:

STREET AND DRIVEWAYS = 19,700 SQ. FT.
2-FAMILY BUILDINGS = 15,392 SQ. FT.
WALKWAYS = 1,600 SQ. FT.
PATIOS = 1,280 SQ. FT.
TOTAL = 37,972 SQ. FT. OR 39.6%

BUILDING COVERAGE:

15,393 / 96,852 = 15.8%

LAND SUITABLE FOR DEVELOPMENT:

WETLANDS: 0 AC.
FLOOD ZONE: 0 AC.
STREETS: 0 AC.
EASEMENTS: 0 AC. (EXISTING EASEMENT TO BE ABANDONED)
STEEP SLOPES: 0 AC.
TOTAL: 0 AC.

PROJECT NO. 25024.00

1. THESE PLANS HAVE BEEN ISSUED FOR LOCAL AND/OR STATE AGENCY REVIEW. ONLY PLANS STAMPED "ISSUED FOR CONSTRUCTION" AFTER RECEIPT OF ALL LOCAL AND STATE APPROVALS SHALL BE USED FOR CONSTRUCTION.
2. THE TOWN'S CONVEYANCE SHALL PREPARE AND PROVIDE THE FOLLOWING STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 1988 EDITION & TOWN OF COVENTRY SUBDIVISION & LAND DEVELOPMENT STANDARDS. THE TOWN'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF STATE R.O.W.'S.
3. THE CONTRACTOR SHALL READ AND FAMILIARIZE ITSELF WITH THE TOWN'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS (AS THEY PERTAIN TO CONSTRUCTION) PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONSTRUCT THE ROADWAY AND DRAINAGE SYSTEM IN ACCORDANCE WITH THE TOWN'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS.
5. ANY REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK NOT PREVIOUSLY SECURED & PROVIDED BY THE OWNER SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION; THE CONTRACTOR SHALL ADHERE TO THE TERMS, CONDITIONS AND REQUIREMENTS OF ALL STATE & LOCAL PERMITS ISSUED FOR THE PROJECT.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS, INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY, INCLUDING ANY NECESSARY STOP WORK ORDERS.
7. ALL ELEVATIONS ON SUBJECT PROPERTY ARE BASED ON NGVD88 DATUM, AND HAVE A POTENTIAL VERTICAL VARIANCE OF 1± FEET.
8. NO EXISTING DRAINAGE STRUCTURE OR FACILITY SHALL BE ALTERED OR DISTURBED UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES BY THE TOWN.
10. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS, AND SHALL INSPECT THE SITE. ANY CHANGES TO THE PROJECT, OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED, SHALL BE REVIEWED BY, AND MUST BE ACCEPTABLE TO, THE ENGINEER.
11. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DETAIL FOR ANY WORK CALLED FOR ON THE PLANS SHALL NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE PROPOSED WORK.
12. ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION OF AND APPROVAL BY THE TOWN. PROPER NOTIFICATION SHALL BE GIVEN PRIOR TO THE COMMENCEMENT OF ANY WORK, AND NO WORK SHALL PROCEED WITHOUT THE AUTHORIZATION OF THE TOWN.
13. ALL WORK OF CONSTRUCTION SHALL BE CONFINED TO THE PROPOSED LOT DISTURBANCE AREA, SHALL BE LOCATED AND FIELD-DELINEATED BY A R.I.P.S.; NO CLEARING OR DISTURBANCE SHALL TAKE PLACE OUTSIDE THE ESTABLISHED LIMIT AT ANY POINT DURING CONSTRUCTION, UNLESS EXPLICITLY AUTHORIZED BY THE TOWN.
14. PRIOR TO THE START OF EARTHWORK OR DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL SEDIMENT & SOIL EROSION CONTROL (SEEC) DEVICES IN ACCORDANCE WITH WIDEDEM TOWN STANDARDS.
15. PROPOSED GRADING ON THE SITE IS TO BE USED AS A GUIDE, SUCH THAT THE DEVELOPED AREA IS GRADED TO DRAIN ALL SURFACE RUNOFF. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE R.I. STATE BUILDING CODE, LATEST EDITION.
16. COMMUNICATION LINES (ELECTRIC, TELEPHONE, AND CABLE TV) SHALL BE INSTALLED UNDERGROUND, UNLESS OVERHEAD SERVICE IS APPROVED BY THE TOWN.
17. ALL ROAD SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE PROJECT SITE, UNLESS ON-SITE DISPOSAL AT AN APPROPRIATE LOCATION (OR LOCATIONS) IS APPROVED BY THE TOWN.
18. MANHOLE AND CATCH BASIN FRAME & COVERS SHALL BE ADJUSTED TO FINISH GRADE WITH RED BRICKS AND MORTAR. OTHER TYPES OF BRICK AND/OR PRECAST CONCRETE RINGS ARE NOT ACCEPTABLE. GRATES SHALL BE SET 0.1 FEET BELOW ROAD GRADE. RIM ELEVATIONS SHOWN ON PROFILES ARE APPROXIMATE, ENGINEER TO SPECIFY FINAL RIM ELEVATIONS ON SHOP DRAWINGS. MANHOLES SHALL BE CONSTRUCTED SO AT LEAST TWO COURSES OF BRICKS ARE BENEATH THE FRAME.
19. THE FRAME & CATCH BASIN FRAME SHALL BE ADJUSTED TO THE FINISH GRADE TO THE SECOND COURSE OF PAVEMENT. THE FRAME AND COVERS SHALL BE RE-ADJUSTED IMMEDIATELY PRIOR TO PLACEMENT OF THE SECOND COURSE OF PAVEMENT.
20. ALL DRIVEWAY DRAINAGE SHALL REMAIN ON THE SITE AND SHALL NOT BE DIRECTED OFF SITE. OFF SITE ROADWAY RUNOFF SHALL NOT BE ALLOWED TO ENTER THE SITE AT THE PROPOSED ENTRANCE A BITUMINOUS BERM SHALL BE CONSTRUCTED TO PREVENT ROADWAY RUNOFF FROM ENTERING THE SITE.
21. PROPOSED ROAD AND DRIVEWAY SIGHT DISTANCE TRIANGLES SHALL BE CLEARED BY THE CONTRACTOR TO THE SATISFACTION OF THE TOWN.
22. ALL SLOPES GREATER THAN 2H:1V SHALL BE STABILIZED WITH RIDOT CLASS R-4 RIP RAP LAID ON TOP OF FILTER FABRIC (MIRAFI 180N OR APPROVED EQUIV), DEPTH OF RIP RAP TO BE 1.5 TIMES MAXIMUM STONE SIZE.
23. ALL HDPE PIPE SHALL BE ADS N-12 INTEGRAL BELL WATER-TIGHT PIPE OR APPROVED EQUIV.

APPROX	APPROXIMATE
BIT	BITUMINOUS
BOT	BOTTOM
CB	CATCH BASIN
CEM	CEMENT
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CL	CENTERLINE
CL##	PRESSURE-RATED CLASS
CLDI	CEMENT-LINED DUCTILE IRON
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARD
DG	DOUBLE-GRATE
DMH	DRAIN MANHOLE
ELEV	ELEVATION
EX	EXISTING
ESHGWT	ESTIMATED SEASONAL HIGH GROUNDWATER
GWT	GROUNDWATER TABLE
GG	GAS GATE VALVE
HDPE	HIGH-DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
INV	INVERT
L	LENGTH
LOD	LIMIT OF DISTURBANCE
LT	LEFT
MAX	MAXIMUM
MCU	MODULAR CONCRETE UNIT
MIN	MINIMUM
PROP	PROPOSED
PVC	POLY-VINYL CHLORIDE
PSI	POUNDS PER SQUARE INCH (PRESSURE)
PC	POINT OF CURVATURE
PT	POINT/POINT OF TANGENCY
PVI	POINT OF VERTICAL INFLECTION
R&D	REMOVE & DISPOSE
R&R	REMOVE & RESET
R&S	REMOVE & STOCKPILE
RCP	REINFORCED CONCRETE PIPE
RT	RIGHT
SCH	SCHEDULE (PIPES)
SDR	STANDARD DIMENSION RATIO
SED	SEDIMENT
SESC	SOIL EROSION & SEDIMENTATION CONTROL
SEV	SOIL EVALUATION
SF	SQUARE FEET
SG	SINGLE-GRATE
SMH	SEWER MANHOLE
SS	STAINLESS STEEL
STA	STATION
SY	SQUARE YARD
TEMP	TEMPORARY
TH	TEST HOLE
VERT	VERTICAL
W	WIDTH
WF	WETLAND FLAG
WQ	WATER QUALITY
YR	YEAR
'	FEET
"	INCHES
'/'	VERTICAL FEET/HORIZONTAL FEET

	PARCEL PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	GAS VALVE BOX
	WATER VALVE BOX
	CURB STOP
	UTILITY POLE AND NUMBER
	EXISTING SEWER MANHOLE
	EXISTING COMMUNICATIONS MANHOLE
	DRAINAGE MANHOLE
	CATCH BASIN OR DROP INLET
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EXISTING GUARD RAIL
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	BUILDING SETBACK LINE
	FIRE HYDRANT
	MONITORING WELL
	EX. CHAIN LINK FENCE (HEIGHT)
	PROPOSED CHAIN LINK FENCE
	PERIMETER EROSION CONTROL (COMPOST FILTER SOCK)
	TEST HOLE LOCATION
	BACKWATER VALVE
	CLEANOUT
	PROPOSED ROOF DRAIN
	PROPOSED FOUNDATION DRAIN

DEVELOPER SHALL RETAIN THE SERVICES OF A RHODE ISLAND PROFESSIONAL ENGINEER TO REVIEW AND APPROVE SHOP DRAWINGS, SAMPLES, AND OTHER SUBMITTALS OF THE CONTRACTOR FOR CONFORMANCE WITH THE DESIGN CONCEPT (THIS PLAN SET) AND TOWN REGULATIONS, WHICH INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING:

- A. DRAINAGE SYSTEM SHOP DRAWINGS/SKETCHES FOR PIPE, PIPE JOINTS, PIPE BEDDING/BACKFILL MATERIALS (SIEVE ANALYSIS, ETC.), COMPACTION METHODS, MANHOLE STRUCTURES, FRAME & COVERS, FRAME & GRATES, FRAME & COVER ADJUSTMENT METHODS TO FINISH GRADE, PROPOSED RIN ELEVATIONS, PIPE INVERTS AND PIPE DIAMETERS. ANY SUBSTANTIAL CHANGES TO THE DESIGN CONCEPT SHALL BE BROUGHT TO THE TOWN'S ATTENTION.
- B. ROADWAY CONSTRUCTION SHOP DRAWINGS/SKETCHES FOR GRAVEL BASE MATERIALS, BITUMINOUS CONCRETE COURSES, SIGNAGE/STRIPING, UNDERDRAINS, GUARDRAILS, RETAINING WALLS AND CURBING/BERMS.
- C. SOIL EROSION CONTROL AND DEWATERING METHODS.
- D. COMPACTION METHODS FOR INSTALLING PIPE/MANHOLDS, GRAVEL ROAD BASE AND BITUMINOUS CONCRETE COURSES.
- E. TESTING METHODS AND TESTING FREQUENCY FOR DRAINAGE AND ROAD SYSTEMS. TESTING FREQUENCY SHALL BE IN ACCORDANCE WITH RIDOT AND TYPICAL ENGINEERING STANDARDS.

2. THE SHOP DRAWING SUBMITTAL PACKAGE SHALL BE STAMPED BY A RHODE ISLAND PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN/TOWN ENGINEER FOR REVIEW AND APPROVAL. SHOP DRAWING RECORDS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT, INCLUDING THE WARRANTY PERIOD.
3. MARKED-UP CONSTRUCTION DRAWINGS SHALL BE MAINTAINED AND KEPT AT THE JOB SITE FOR THE DURATION OF THE PROJECT.
4. CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS IN ACCORDANCE WITH TOWN REGULATIONS AND KENT COUNTY WATER AUTHORITY REQUIREMENTS. AS-BUILT DRAWING SHALL COMPLY WITH KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS. AS-BUILTS SHALL BE STAMPED BY A R.I. PROFESSIONAL LAND SURVEYOR AND R.I. PROFESSIONAL ENGINEER.
5. PRIOR TO INSTALLATION OF INFRASTRUCTURE, A R.I. P.E. SHALL CERTIFY THE INFRASTRUCTURE WAS INSTALLED IN ACCORDANCE WITH THE DESIGN INTENT AND MEETS RIDOT/TOWN STANDARDS & PERMIT STIPULATIONS, AND IS READY FOR USE. AS-BUILT DRAWING SHALL COMPLY WITH KENT COUNTY WATER RULES AND REGULATIONS AND BE ACCEPTED AND APPROVED BY THE KENT COUNTY WATER AUTHORITY.

SUBSURFACE CONDITIONS NOTES:

1. ALL SOIL AND TEST HOLE DATA, WATER TABLE ELEVATIONS, AND SOIL ANALYSIS SHOWN/REFERENCED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS APPLY ONLY AT THE LOCATION OF THE TEST HOLES AND TO THE DEPTHS INDICATED. SOIL TEST REPORTS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE DESIGN ENGINEER. ANY ADDITIONAL SUBSURFACE EXPLORATION SHALL BE DONE BY THE CONTRACTOR AT THE OWNER'S EXPENSE. IT IS UNDERSTOOD THAT THE MAKING OF THE DEDUCTIONS, INTERPRETATIONS AND CONCLUSIONS FROM ALL THE ACCESSIBLE FACTUAL INFORMATION, INCLUDING THE NATURE OF THE MATERIALS TO BE EXCAVATED, THE DIFFICULTIES OF MAKING AND MAINTAINING THE REQUIRED EXCAVATIONS, AND THE DIFFICULTIES OF DOING OTHER WORK AFFECTED BY THE GEOLOGY AND OTHER SUBSURFACE CONDITIONS AT THE SITE OF THE WORK, ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
2. THE INDICATED ELEVATION OF THE WATER TABLE IS THAT EXISTING AT THE DATE THE TEST HOLE DATA WAS DETERMINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND ALLOW FOR THE ELEVATION OF GROUNDWATER AT THE DATE OF PROJECT CONSTRUCTION. A DIFFERENCE IN ELEVATION BETWEEN GROUNDWATER SHOWN IN SOIL LOGS AND GROUNDWATER ACTUALLY ENCOUNTERED DURING CONSTRUCTION WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA WORK.

SITE NOTES:

1. WHERE REFERENCED HEREIN, THE TERM "PARCEL" SHALL BE APPLICABLE TO THE COMBINED LAND AREA ENCOMPASSED BY LOTS 10, 11, 12 & 1. ALL LOCATED ON ASSESSORS MAP 45.
2. THE SUBJECT PARCEL LIES WITHIN "ZONE X-AREAS OF MINIMAL FLOOD HAZARD" EXHIBITED ON THE FIRM FLOOD INSURANCE RATE MAP FOR KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS), MAP NUMBER 4400300104H, EFFECTIVE DATE OCTOBER 2, 2015.
3. SUBJECT PARCELS ARE DEVELOPED WITH RESIDENTIAL DWELLINGS. GROUND COVERAGE IS LAWN WITH MIXED HARDWOOD SPECIES TREES ON THE PERIMETER OF THE SITE.
4. THERE IS AN OFF SITE CEMETERY (AP 45 LOT 6) LOCATED AT THE WEST SIDE OF KEN RAY DRIVE ALONG MAIN STREET.
5. AS SHOWN ON THE RIDEM ENVIRONMENTAL RESOURCES MAP AND TOWN OF COVENTRY GIS, THE SUBJECT PARCEL IS NOT LOCATED WITHIN EITHER OF THE FOLLOWING:
 - HISTORIC DISTRICT
 - COMMUNITY OR NON-COMMUNITY WELL HEAD PROTECTION AREA
 - RIDEM GROUNDWATER RESERVE, RECHARGE AREA OR SOLE SOURCE AQUIFER
6. THE SITE IS NOT LOCATED IN A NATURAL HERITAGE AREA.
7. SUBJECT PARCEL IS SERVICED BY KENT COUNTY WATER AUTHORITY.
8. SUBJECT PARCEL IS SERVICED BY COVENTRY SEWER AUTHORITY.
9. GROUNDWATER IN THE AREA IS CLASSIFIED GB BY RIDEM.
10. THE SOILS IN THE AREA ARE CLASSIFIED Ur-URBAN LAND AND Ndb NARRAGANSETT SILT LOAM.
11. EXISTING OVERHEAD UTILITIES ARE LOCATED ALONG THE NORTH SIDE OF MAIN STREET.
12. THE SUBJECT PARCEL IS SERVICED BY THE CENTRAL FIRE DISTRICT.

MAP NOTES:

1. PROPERTY LINES DEPICTED ON THE PLAN ARE BASED SURVEY BY PETER CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL 28, 2025.
2. THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE.
3. CONTRACTORS TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION, DIGGING, BORING, OR TESTING (CALL DIGSAFE).
4. UTILITIES SHOWN ARE QUALITY LEVEL D OF THE ASCE 38-02 STANDARDS.
5. GAS MAINS LOCATIONS FROM PLANS OF RECORD. GAS LOCATIONS (IF ANY) ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
6. EXISTING SEWER LINES WERE TAKEN FROM TOWN OF COVENTRY GIS.
7. DEPICTED DWELLINGS, ROADWAYS AND DRIVEWAYS ON THIS PLAN WERE TAKEN FROM TOWN OF COVENTRY GIS.
8. EXISTING OVERHEAD UTILITIES WERE TAKEN FROM STREET OBSERVATIONS.
9. EXISTING WATER LINE IS BASED UPON KENT COUNTY WATER AUTHORITY RECORDS.
10. NORTH ARROW ORIENTATION IS BASED UPON SURVEY BY PETER V. CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL 28, 2025.
11. TOPOGRAPHY FOR 500'-FOOT RADIUS TAKEN FROM NOAA 2022 LIDAR.

1. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE". NO DRAINAGE STRUCTURE OR FACILITY SHALL BE DISTURBED WITHOUT PROPER PERMITS UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS.
2. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
3. ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION AND REPRESENT APPROXIMATE LOCATIONS. SOME OBSTRUCTIONS, OBSTACLES, OR DIFFICULTIES IN THE PATH OF THE WORK, EITHER ANTICIPATED OR DISCOVERED IN THE PERFORMANCE OF THE WORK, MAY NOT BE FULLY INDICATED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND ENTERING INTO THE RECORD WITH FULL KNOWLEDGE THAT IN ANY WORK INVOLVING EXCAVATION OPERATIONS IN PAVEMENT, HIGHWAYS OR ADJACENT TO OTHER DEVELOPMENTS, SOME UNFORESEEN OBSTACLES, DIFFICULTIES, SOIL OR GROUND WATER CONDITIONS, ETC., MAY BE ENCOUNTERED, AND THAT THE CONTRACTOR HAS INCLUDED IN HIS BID AND CONTRACT OBLIGATIONS THE ASSUMPTIONS OF THE RISKS AND COSTS TO WHICH SUCH OBSTACLES, ETC. MAY SUBJECT HIMSELF.
4. THE LOCATION OF EXISTING UNDERGROUND PIPES, CONDUITS, AND STRUCTURES AS SHOWN HAS BEEN COLLECTED FROM THE BEST AVAILABLE SOURCES, AND THE OWNER, TOGETHER WITH HIS AGENTS, DOES NOT IMPLY OR GUARANTEE THE DATA AND INFORMATION IN CONNECTION WITH UNDERGROUND PIPES, CONDUITS, STRUCTURES, AND STRUCTURES OR PARTS THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND ENTERING INTO THE RECORD. THE CONTRACTOR SHALL ASSUME THAT THERE ARE EXISTING WATER, GAS AND OTHER UTILITY CONNECTIONS IN ROUTE, WHETHER THEY APPEAR ON THE DRAWINGS OR NOT. ANY EXPENSE AND/OR DELAY OCCASIONED BY UTILITIES AND STRUCTURES OR DAMAGE THERETO, INCLUDING THOSE NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. PRIOR TO BEGINNING OF CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE SUCH SUPPLEMENTAL INVESTIGATIONS, INCLUDING EXPLORATORY EXCAVATIONS BY HAND DIGGING, AS HE DEEMS NECESSARY TO UNCOVER AND DETERMINE THE EXACT LOCATIONS OF UTILITIES AND STRUCTURES AND SHALL HAVE NO CLAIMS FOR DAMAGES DUE TO ENCOUNTERING SUBSURFACE STRUCTURES OR UTILITIES IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR WHICH ARE INDICATED BY THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ALL DAMAGES TO EXISTING UTILITIES AND STRUCTURES.
7. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ENGAGE A R.I PROFESSIONAL LAND SURVEYOR TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING AND PROPOSED UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW.
8. ANY DAMAGE TO EXISTING PAVEMENT, BRIDGES, CONDUIT, SIDEWALK, FENCES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER/STATE/TOWN.
9. WHENEVER IT MAY BE NECESSARY TO CROSS OR INTERFERE WITH EXISTING CULVERTS, DRAINS, SEWERS, WATER MAINS, OR OTHER EXISTING UTILITIES OR STRUCTURES, THE CONTRACTOR SHALL BE RESPONSIBLE TO GIVE NOTICE SHALL BE GIVEN TO THE OWNER. WHENEVER REQUIRED, ALL OBJECTS SHALL BE STRENGTHENED TO MEET ANY ADDITIONAL STRESS THAT THE WORK HEREIN SPECIFIED MAY IMPOSE UPON IT, AND ANY DAMAGE CAUSED SHALL BE THOROUGHLY REPAIRED. THE ENTIRE WORK SHALL BE PERFORMED AT NO EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS DURING THE PROGRESS OF THE WORK AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES AND PERSONAL "PROPERTY" WHICH MAY HAVE BEEN CAUSED BY BROKEN LINES AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL CONTACT THE PROPER UTILITY OR AUTHORITY TO CORRECT OR MAKE ANY CHANGES DUE TO UTILITIES OR OTHER OBSTRUCTIONS DURING CONSTRUCTION, BUT THE ENTIRE RESPONSIBILITY AND EXPENSE FOR SUCH CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY ITEMS REQUIRED TO BE REMOVED AND REPLACED DUE TO CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER, AND AT NO ADDITIONAL EXPENSE TO THE OWNER.

THE SITE IS CURRENTLY VACANT AND UTILITIES ARE ASSUMED ACTIVE. THE PROPERTY CURRENTLY CONTAINS FIVE (5) HOUSES, A GARAGE AND SEVERAL OUTBUILDING THAT ARE TO BE REMOVED AND BE DISPOSED OF IN A LEGAL MANNER. THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND OBTAINING ANY PERMITS REQUIRED FOR ALL DEMOLITION.
2. REMOVE EXISTING UTILITIES AND CAP/CLOSE OUT PER UTILITY OWNERS SPECIFICATION. CONTRACTOR TO COORDINATE WITH UTILITY OWNERS AND SHALL BE RESPONSIBLE TO OBTAIN ANY PERMITS REQUIRED.
3. EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE AND ADDITIONAL UTILITIES MAY BE PRESENT.
4. EXISTING SITE IMPROVEMENTS INCLUDING CURBS, PAVEMENT STONES, TREES AND DEBRIS TO BE REMOVED AND DISPOSED.
5. CONTRACTOR SHALL COORDINATE ANY DEMOLITION IN THE RIDOT AND/OR TON OF CONVENTRY R.O.W. AND SHALL BE RESPONSIBLE FOR ANY PERMITS REQUIRED.
6. CONTRACTOR TO COORDINATE REMOVAL OF ANY FENCES LOCATED ALONG OR NEAR THE PROPERTY LINE WITH THE ABUTTING OWNER (IF ANY).
7. ANY EXISTING OWLS ENCOUNTERED SHALL BE CLOSE PER RIDOT OWLS REGULATIONS, ANY OWLS COMPONENTS REMOVED SHALL BE DISPOSED OF IN A LEGAL MANNER.
8. ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LEGAL MANNER.
9. ANY REMAINING FOUNDATIONS FROM PREVIOUS BUILDINGS SHALL BE REMOVED AND BE DISPOSED OF IN A LEGAL MANNER.

1. ALL WORK TO BE PERFORMED WITHIN THE STATE HIGHWAY RIGHT OF WAY (R.O.W.) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FEBRUARY 2025 EDITION WITH ALL REVISIONS. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED FEBRUARY 2025) WITH ALL REVISIONS.
2. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2012, INCLUDING ALL REVISIONS.
3. CONTRACTOR MUST SUBMIT AN APPLICATION AND APPLY FOR SEPARATE UTILITY PERMIT FOR ALL UTILITY WORK TO BE PERFORMED IN THE RIDOT R.O.W.. THE APPROVAL OF THE PAPA IS NOT A SUBSTITUTE FOR A UTILITY PERMIT AND APPROVAL OF THE PAPA DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UNSHOWN, WITHIN THE STATE R.O.W..
4. AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.

1. WHERE REFERENCE HEREIN, THE TERM "PARCEL" SHALL BE APPLICABLE TO THE COMBINED LAND AREA ENCOMPASSED BY LOTS 10, 11, 12 & 13. ALL LOCATED ON ASSESSORS MAP 45.
2. THE SUBJECT PARCEL LIES WITHIN 'ZONE X-AREAS OF MINIMAL FLOOD HAZARD' AS DELINEATED ON THE FIRM FLOOD INSURANCE RATE MAP FOR KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS), MAP NUMBER 4400300104H, EFFECTIVE DATE OCTOBER 2, 2015.
3. SUBJECT PARCEL IS DEVELOPED WITH RESIDENTIAL DWELLINGS. GROUND COVERAGE IS LAWN WITH MIXED HARDWOOD SPECIES TREES ON THE PERIMETER OF THE SITE.
4. THERE IS AN OFF SITE CEMETERY (AP 45 LOT 6) LOCATED AT THE WEST SIDE OF KEN RY DRIVE ALONG MAIN STREET.
5. AS SHOWN ON THE RIDEM ENVIRONMENTAL RESOURCE MAP AND TOWN OF KENT COUNTY GIS, THE SUBJECT PARCEL IS NOT LOCATED WITHIN EITHER OF THE FOLLOWING:
 - HISTORIC DISTRICT
 - COMMUNITY OR NON-COMMUNITY WELL HEAD PROTECTION AREA
 - RIDEM GROUNDWATER RESERVOIR, RECHARGE AREA OR SOLE SOURCE AQUIFER
6. THE SITE IS NOT LOCATED IN A NATURAL HERITAGE AREA.
7. SUBJECT PARCEL IS SERVICED BY KENT COUNTY WATER AUTHORITY.
8. SUBJECT PARCEL IS SERVICED BY COVENTRY SEWER AUTHORITY.
9. ZONING IN THE AREA IS CLASSIFIED GR BY RIDEM.
10. THE SOILS IN THE AREA ARE CLASSIFIED Ur-Ur-LAND AND Nab NARRAGANSETT SILT LOAM.
11. EXISTING OVERHEAD UTILITIES ARE LOCATED ALONG THE NORTH SIDE OF MAIN STREET.
12. THE SUBJECT PARCEL IS SERVICED BY THE CENTRAL FIRE DISTRICT.

1. PROPERTY LINES DEPICTED ON THE PLAN ARE BASED SURVEY BY PETER V. CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL 28, 2025.
2. THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE.
3. CONTRACTORS TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION, DIGGING, BORING, OR TESTING (CALL DIGSAFE).
4. UTILITIES SHOWN ARE QUALITY LEVEL D OF THE ASCE 38-02 STANDARDS.
5. GAS MAINS LOCATIONS FROM PLANS OF RECORD. GAS LOCATIONS (IF ANY) ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
6. EXISTING ROADWAYS, DRIVEWAYS, AND SIDEWALKS ARE APPROXIMATE.
7. DEPICTED DWELLINGS, ROADWAYS AND DRIVEWAYS ON THIS PLAN WERE TAKEN FROM TOWN OF COVENTRY GIS.
8. EXISTING OVERHEAD UTILITIES WERE TAKEN FROM STREET OBSERVATIONS.
9. EXISTING WATER LINE IS BASED UPON KENT COUNTY WATER AUTHORITY RECORDS.
10. NORTH ARROW ORIENTATION IS BASED UPON SURVEY BY PETER V. CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL 28, 2025.
11. TOPOGRAPHY FOR 500-FOOT RADIUS TAKEN FROM NOAA 2022 LIDAR.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION, INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRIAGES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE MAY 2012 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), INCLUDING ALL SUBSEQUENT REVISIONS.
2. ALL TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STREET RIGHT-OF-WAYS.
4. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

1. SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION – AUGUST 2018 EDITION (INCLUDING ALL SUBSEQUENT ADDENDA) AS WELL AS THE TOWN OF COVENTRY STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. STANDARD SPECIFICATIONS FOR R.D.I.D. STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE R.D.I.D. WEBSITE UNDER 'STANDARDS' AND SPECIFICATIONS' (WWW.DOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP). TOWN STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE TOWN OF COVENTRY WEBSITE UNDER THE LINK 'PLANNING DEPARTMENT', 'SUBDIVISION REGULATIONS' (WWW.WGTOWNRI.ORG/DEPARTMENTS/PLANNING/SUBDIVISION.PHP).
2. EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND GRASS SEED UNLESS OTHERWISE NOTED.
3. ALL EXCAVATION AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH R.I.D.O.T. STANDARD SPECIFICATIONS SECTION 202 AND TOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. ALL MATERIALS AND METHODS SHALL BE PERFORMED IN ACCORDANCE WITH THESE STANDARDS AND SPECIFICATIONS. ALL FILL BENEATH SUBWAYS SHALL BE GRAVEL.
4. ALL AREAS COMPLETED BY CONSTRUCTION ACTIVITIES (OTHER THAN ROADWAYS AND BENEATH STRUCTURES) SHALL BE RESTORED TO PROMOTE INFILTRATION BY TILLING THE TOP 12 INCHES OF SOIL PRIOR TO FINAL STABILIZATION.
5. ALL UNSUITABLE MATERIAL (LOAM, SUBSOIL, ROOTS, TREE TRUNKS, CLAY, SILT, ORGANIC MATTER, LARGE STONES, ETC.) SHALL BE REMOVED FROM THE ROADWAY SUBGRADE AND EMBANKMENT AREAS PRIOR TO THE PLACEMENT OF THE GRAVEL SUBBASE/BERM MATERIAL AS DIRECTED AND APPROVED.
6. ALL SURPLUS MATERIAL TO BE REMOVED FROM THE PROJECT AREA (SAND, GRAVEL, LOAM, ETC.) SHALL BE RE-USED, TO THE EXTENT POSSIBLE, IN OTHER LOCATIONS WITHIN THE PROJECT AREA; MINING OF SITE MATERIALS (I.E. REMOVAL OF SUITABLE IN-SITU MATERIALS FROM THE SITE AND REPLACEMENT WITH IMPORTED BORROW MATERIALS) SHALL NOT BE PERMITTED.

1. SOME EXCAVATIONS FOR PIPELINES, STRUCTURES, AND APPURTENANT WORK REQUIRED MAY OCCUR BELOW EXISTING GROUNDWATER LEVELS.
2. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL PUMPS, DRAINS, WELL POINTS AND/OR ANY OTHER DEVICES FOR THE COLLECTION AND DISPOSAL OF GROUNDWATER OR SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK, AND SHALL PROVIDE ALL PUMPS, PIPING, AND DITCHING FOR THE REMOVAL OF WATER FROM THE TRENCHES AND EXCAVATIONS SO THAT ALL TRENCHES AND EXCAVATIONS MAY BE KEPT FREE FROM WATER AT ALL TIMES, AND SO THAT THE WORK MAY BE PERFORMED IN THE DRY.
3. DEWATERING OF EXCAVATIONS SHALL BE ACCOMPLISHED BY METHODS THAT HAVE BEEN APPROVED PRIOR TO COMMENCEMENT OF WORK BY THE ENGINEER, AND WHICH HAVE A BACKGROUND OF SUCCESSFUL DEWATERING OF EXCAVATIONS OF THE TYPE AND DEPTH OF THESE OPERATIONS. ANY CHANGE TO EXISTING FEATURES OR TO THE PUMPING SHALL BE CONTINUOUS WHERE DIRECTED AND/OR AS NECESSARY TO PROTECT THE WORK, AND TO MAINTAIN SATISFACTORY PROGRESS OF SAME.
4. THE CONTRACTOR'S DEWATERING AND PUMPING OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT NO DAMAGE TO GROUND OR STRUCTURES, OR TO EXISTING OPERATIONS, OR DAMAGE TO EXISTING FEATURES OR TO THE CONTRACT WORK RESULTING FROM THE CONTRACTOR'S DEWATERING OPERATIONS SHALL BE SUFFERED BY THE CONTRACTOR, AS DIRECTED BY THE OWNER, AT NO ADDITIONAL EXPENSE TO THE OWNER. PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW AND EXISTING WORK FROM FLOODING OR DAMAGE DURING STORMS OR OTHER CAUSES.
5. ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING OPERATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS WILL CAUSE NEITHER INJURY TO PUBLIC HEALTH OR PRIVATE PROPERTY, NOR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS.
7. THE CONTRACTOR SHALL CONSTRUCT DITCHES, ESTABLISH GRADING, AND PERFORM ANY AND ALL OTHER WORK THAT MAY BE NECESSARY TO MAINTAIN AND PREVENT SURFACE WATER AND WATER FROM DEWATERING OPERATIONS FROM ENTERING EXCAVATION AND WORK AREAS.

1. INSPECTIONS AND PROPER MAINTENANCE ARE ESSENTIAL FOR THE LONGEVITY OF THE DRAINAGE SYSTEMS. THE DRAINAGE SYSTEM SHALL BE INSPECTED IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE (O&M) PLAN PREPARED SPECIFICALLY FOR THIS DEVELOPMENT.
2. THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS OF THE PROPOSED DRAINAGE SYSTEM (CATCH BASINS, DRAINAGE MANHOLES, DRAINAGE PIPING, ADS STORMWATER INFILTRATION/STORAGE AREA, SEDIMENT FORDS AND INFILTRATION PONDS). A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND A MAINTENANCE COMPANY TRAINED AND EXPERIENCED WITH THE MAINTENANCE REQUIREMENTS DETAILED IN THE O&M PLAN FOR THIS DEVELOPMENT, AS WELL AS THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL", LATEST EDITION (KNOWN AS THE "MANUAL").

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

TIMOTHY J. BEHAN

No 6278


REGISTERED
PROFESSIONAL ENGINEER

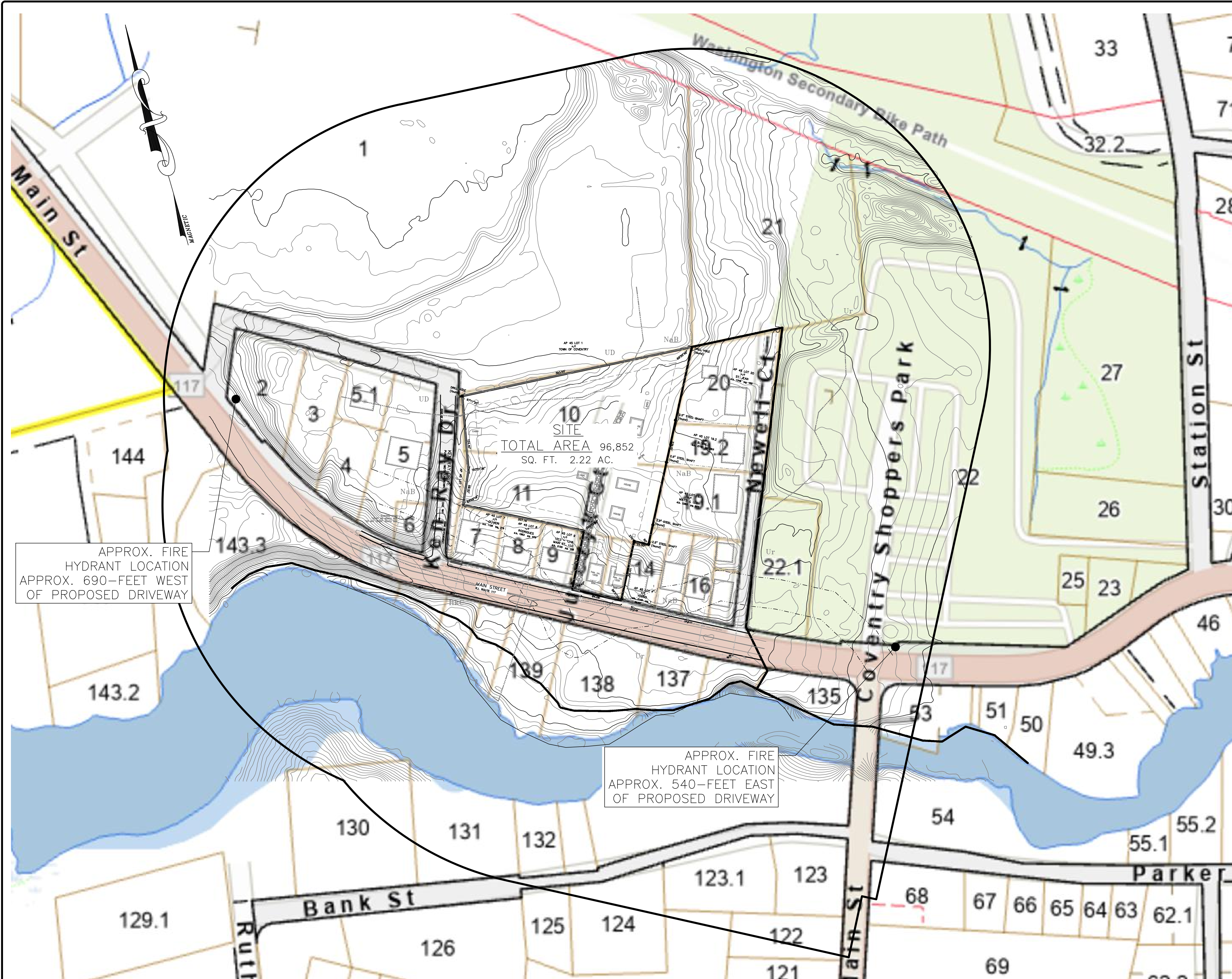
12/04/2025

☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

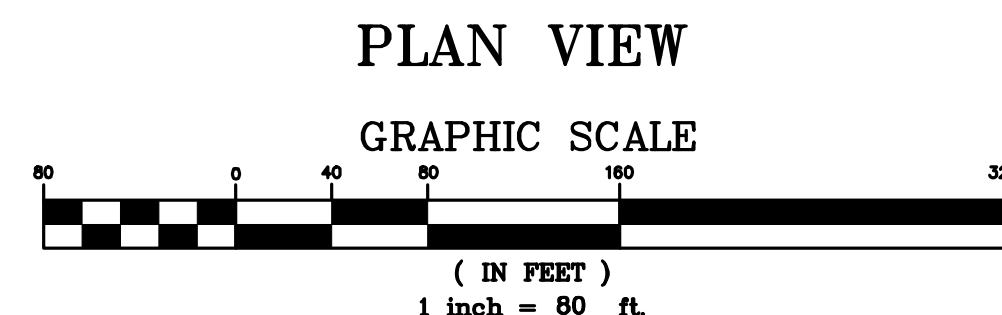
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		COMMONWEALTH	
		ENGINEERS & CONSULTANTS, INC.	
		400 SMITH STREET PROVIDENCE, RHODE ISLAND 02908 (401) 273-6600	
PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT FOR SIENA CONDOMINIUMS A.P. 45 LOTS 10, 11, 12 & 13 MAIN STREET COVENTRY, RHODE ISLAND			
LEGEND, NOTES & ABBREVIATIONS			
SCALE: AS SHOWN		SHEET NO: 2 OF 20	
DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB	
DATE: MARCH 2, 2025		PROJECT NO: 25024.00	



APPROX. FIRE
HYDRANT LOCATION
APPROX. 690-FEET WEST
OF PROPOSED DRIVEWAY

APPROX. FIRE
HYDRANT LOCATION
APPROX. 540-FEET EAST
OF PROPOSED DRIVEWAY



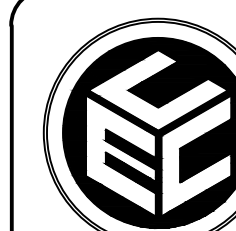
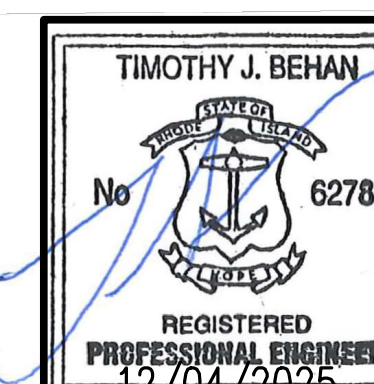
OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401) 732-9300

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
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LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR
CONSTRUCTION SHALL BE USED FOR
CONSTRUCTION



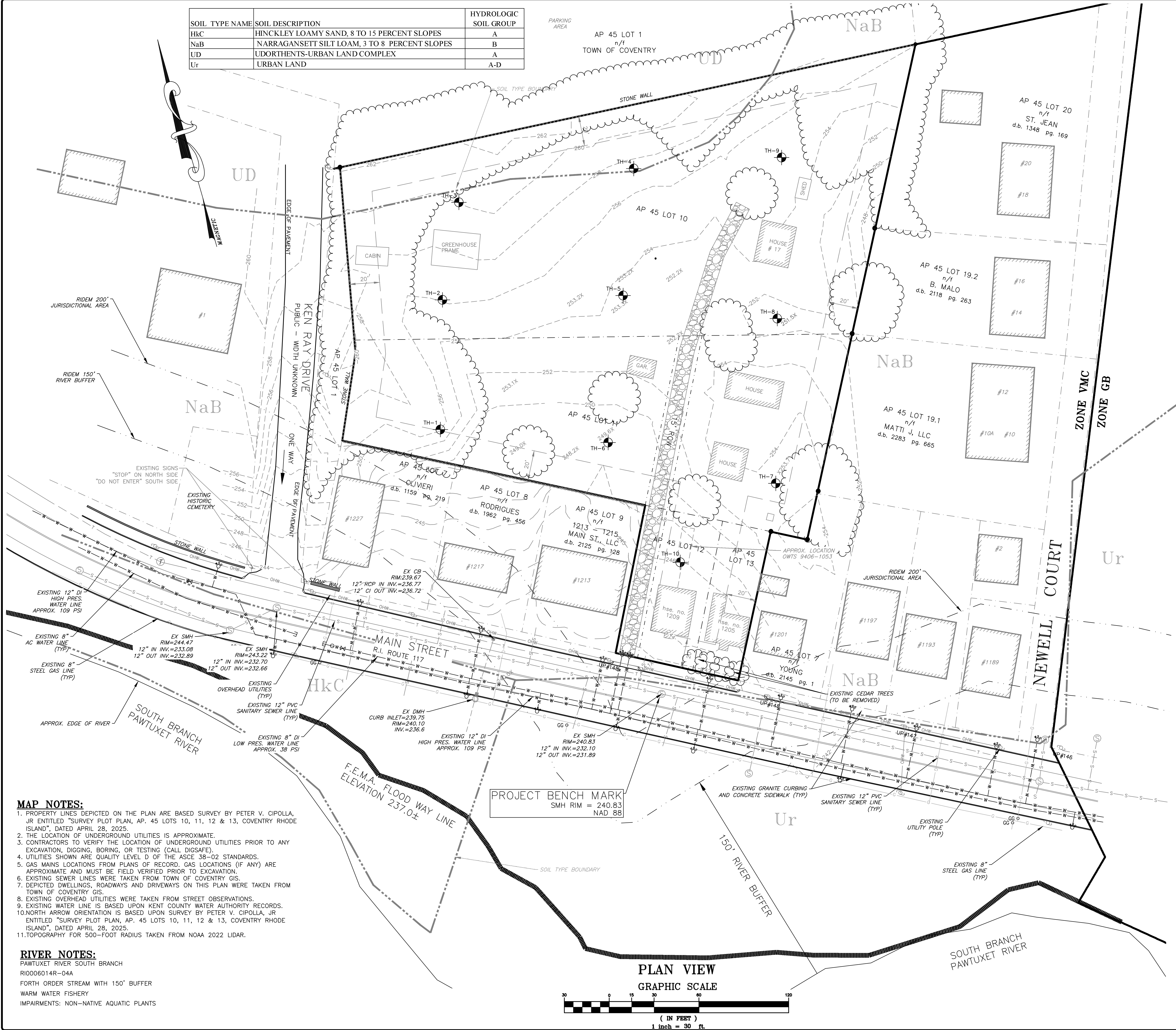
COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

REVISIONS				
No.	DATE	DRWN	CHKD	
1	07-29-25	SMA	TJB	
2	07-31-25	SMA	TJB	
3	09-02-25	SMA	TJB	
4	09-11-25	SMA	TJB	
5	11-07-25	SMA	TJB	
6	12-04-25	SMA	TJB	

PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
500-FOOT RADIUS PLAN

SCALE: 1" = 80' SHEET NO: 3 OF 20
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: MARCH 27, 2025 PROJECT NO.: 25024.00

SOIL TYPE NAME	SOIL DESCRIPTION	HYDROLOGIC SOIL GROUP
HkC	HINCKLEY LOAMY SAND, 8 TO 15 PERCENT SLOPES	A
NaB	NARRAGANSETT SILT LOAM, 3 TO 8 PERCENT SLOPES	B
UD	UDORTHENTS-URBAN LAND COMPLEX	A
Ur	URBAN LAND	A-D



MAP NOTES:

- PROPERTY LINES DEPICTED ON THE PLAN ARE BASED SURVEY BY PETER V. CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL, 28, 2025.
- THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE.
- CONTRACTORS TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION, DIGGING, BORING, OR TESTING (CALL DIGSAFE).
- UTILITIES SHOWN ARE QUALITY LEVEL D OF THE ASCE 38-02 STANDARDS.
- GAS MAINS LOCATIONS FROM PLANS OF RECORD. GAS LOCATIONS (IF ANY) ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
- EXISTING SEWER LINES WERE TAKEN FROM TOWN OF COVENTRY GIS.
- DEPICTED DWELLINGS, ROADWAYS AND DRIVEWAYS ON THIS PLAN WERE TAKEN FROM TOWN OF COVENTRY GIS.
- EXISTING OVERHEAD UTILITIES WERE TAKEN FROM STREET OBSERVATIONS.
- EXISTING WATER LINE IS BASED UPON KENT COUNTY WATER AUTHORITY RECORDS.
- NORTH ARROW ORIENTATION IS BASED UPON SURVEY BY PETER V. CIPOLLA, JR ENTITLED "SURVEY PLOT PLAN, AP. 45 LOTS 10, 11, 12 & 13, COVENTRY RHODE ISLAND", DATED APRIL, 28, 2025.
- TOPOGRAPHY FOR 500-FOOT RADIUS TAKEN FROM NOAA 2022 LIDAR.

RIVER NOTES:

PAWTUXET RIVER SOUTH BRANCH
R0006014R-04A
FORTH ORDER STREAM WITH 150' BUFFER
WARM WATER FISHERY
IMPAIRMENTS: NON-NATIVE AQUATIC PLANTS

SITE NOTES:

- WHERE REFERENCED HEREIN, THE TERM "PARCEL" SHALL BE APPLICABLE TO THE COMBINED LAND AREA ENCOMPASSED BY LOTS 10, 11, 12 & 13. ALL LOCATED ON ASSESSORS MAP 45.
- THE SUBJECT PARCEL LIES WITHIN 'ZONE X-AREAS OF MINIMAL FLOOD HAZARD' AS DELINEATED ON THE FIRM FLOOD INSURANCE RATE MAP FOR KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS), MAP NUMBER 44003C0104H, EFFECTIVE DATE OCTOBER 2, 2015.
- SUBJECT PARCELS ARE DEVELOPED WITH RESIDENTIAL DWELLINGS, GROUND COVERAGE IS LAWN WITH MIXED HARDWOOD SPECIES TREES ON THE PERIMETER OF THE SITE.
- THERE IS AN OFF SITE CEMETERY (AP 45 LOT 6) LOCATED AT THE WEST SIDE OF KEN RAY DRIVE ALONG MAIN STREET.
- AS SHOWN ON THE RIDEM ENVIRONMENTAL RESOURCE MAP AND TOWN OF COVENTRY GIS, THE SUBJECT PARCEL IS NOT LOCATED WITHIN EITHER OF THE FOLLOWING:
 - HISTORIC DISTRICT
 - COMMUNITY OR NON-COMMUNITY WELL HEAD PROTECTION AREA
 - RIDEM GROUNDWATER RESERVOIR, RECHARGE AREA OR SOLE SOURCE AQUIFER
- THE SITE IS NOT LOCATED IN A NATURAL HERITAGE AREA.
- SUBJECT PARCEL IS SERVICED BY KENT COUNTY WATER AUTHORITY.
- SUBJECT PARCEL IS SERVICED BY COVENTRY SEWER AUTHORITY.
- GROUNDWATER IN THE AREA IS CLASSIFIED GB BY RIDEM.
- THE SOILS IN THE AREA ARE CLASSIFIED Ur-URBAN LAND AND NaB NARRAGANSETT SILT LOAM.
- EXISTING OVERHEAD UTILITIES ARE LOCATED ALONG THE NORTH SIDE OF MAIN STREET.
- THE SUBJECT PARCEL IS SERVICED BY THE CENTRAL FIRE DISTRICT.

COMMONWEALTH ENGINEERS AND CONSULTING INC. TEST HOLE SUMMARY					
OBSERVED BY TIM BEHAN, P.E.					
LOCATION	TP-1	6/30/2025	LOCATION	TP-6	6/30/2025
SURFACE GRADE	256.0±	FEET	SURFACE GRADE	248.8±	FEET
0-6"	LOAM		0-6"	LOAM	
6-24"	SANDY LOAM SUBSOIL		10-30"	SANDY LOAM SUBSOIL	
24-60"	MED. SAND		30-72"	VERY FINE SAND	
60-144"	MED. SAND/FINE GRAVEL		72-144"	MED. SAND/FINE GRAVEL	
NO GW SEEPAGE, NO MOTTLING, NO LEDGE			NO GW SEEPAGE, NO MOTTLING, NO LEDGE		
LOCATION	TP-2	6/30/2025	LOCATION	TP-7	6/30/2025
SURFACE GRADE	256.0±	FEET	SURFACE GRADE	253.7±	FEET
0-6"	LOAM		0-6"	LOAM	
6-30"	SANDY LOAM SUBSOIL		6-24"	SANDY LOAM SUBSOIL/COBBLES	
30-78"	VERY FINE SAND		24-144"	LOAMY, GRAVELLY SAND, BOULDERS	
78-156"	MED. SAND/FINE GRAVEL		NO GW SEEPAGE, NO MOTTLING, NO LEDGE		
NO GW SEEPAGE, NO MOTTLING, NO LEDGE			LOCATION	TP-8	6/30/2025
LOCATION	TP-3	6/30/2025	SURFACE GRADE	252.0±	FEET
SURFACE GRADE	260.0±	FEET	0-6"	LOAM	
0-4"	LOAM		6-30"	SANDY LOAM SUBSOIL	
4-24"	SANDY LOAM SUBSOIL/COBBLES		30-72"	VERY FINE SAND	
24-144"	MED. SAND/FINE GRAVEL		72-132"	MED. SAND/FINE GRAVEL	
NO GW SEEPAGE, NO MOTTLING, NO LEDGE			NO GW SEEPAGE, NO MOTTLING, NO LEDGE		
LOCATION	TP-4	6/30/2025	LOCATION	TP-9	6/30/2025
SURFACE GRADE	257.5±	FEET	SURFACE GRADE	252.0±	FEET
0-6"	LOAM		0-6"	LOAM	
6-24"	SANDY LOAM SUBSOIL/COBBLES		6-30"	SANDY LOAM SUBSOIL	
24-144"	MED. SAND/FINE GRAVEL		30-78"	VERY FINE SAND	
NO GW SEEPAGE, NO MOTTLING, NO LEDGE			78-144"	MED. SAND/FINE GRAVEL	
LOCATION	TP-5	6/30/2025	NO GW SEEPAGE, NO MOTTLING, NO LEDGE		
SURFACE GRADE	253.70±	FEET	LOCATION	TP-10	6/30/2025
0-10"	LOAM		SURFACE GRADE	246.0±	FEET
10-30"	SANDY LOAM SUBSOIL		0-4"	LOAM	
30-72"	VERY FINE SAND		4-24"	SANDY LOAM SUBSOIL	
72-144"	MED. SAND/FINE GRAVEL		24-60"	VERY FINE SAND	
NO GW SEEPAGE, NO MOTTLING, NO LEDGE			60-144"	MED. SAND/FINE GRAVEL	
NO GW SEEPAGE, NO MOTTLING, NO LEDGE			NO GW SEEPAGE, NO MOTTLING, NO LEDGE		

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
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PHONE: (401) 732-9300

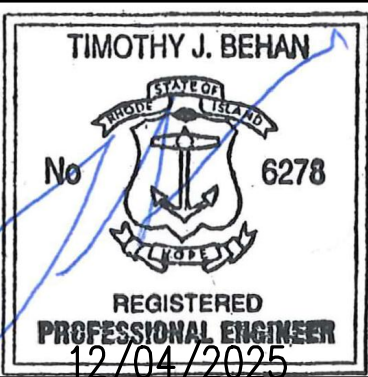
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COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

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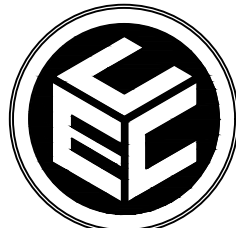
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☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR
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REVISIONS

No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
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COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
EXISTING CONDITIONS PLAN

SCALE: 1" = 30'	SHEET NO: 4 OF 20	
DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB
DATE: MARCH 27, 2025	PROJECT NO.: 25024.00	



ZONING CRITERIA:

SUBJECT LOT = A.P. 50 LOTS 10, 11, 12 & 13
AREA = 96,852 S.F. (2.2 AC.+/-)
UPLAND AREA = 96,852 S.F. (2.2 AC.+/-)
ZONE: VCM – VILLAGE MAIN STREET COMMERCIAL
PUBLIC WATER & SEWER PROPOSED
FIRE SERVICE BY CENTRAL FIRE DISTRICT

ZONING REGULATIONS SECTION 255-610 TABLE 6-2

CRITERIA	REQUIRED	PROPOSED
MINIMUM LOT AREA:	7,500 SQ. FT.	96,852 SQ. FT.
MINIMUM LOT FRONTAGE:	80'	86.8'±
MINIMUM BUILDING HEIGHT:	35'	<35'
MAXIMUM LOT COVERAGE:	60%	39.6%
FRONT SETBACK:	10'	>20'
INTERIOR SIDE SETBACK:	10'	>20'
CORNER SIDE SETBACK:	10'	>20'
REAR SETBACK:	20'	>20'

PROPOSED DENSITY:

16 UNITS ON 2.2 AC. = 7.27 UNITS/ACRE

PARKING CALCULATIONS:

16 UNITS X 2 SPACES/UNIT = 32 REQUIRED

1 SPACE PER GARAGE X 16 GARAGES = 16 SPACES
2 SPACES PER DRIVEWAY X 16 DRIVEWAYS = 32 SPACES
TOTAL SPACES PROVIDED = 48 SPACES > 32 REQUIRED.

IMPERVIOUS CALCULATION:

STREET AND DRIVEWAYS = 19,700 SQ. FT.
2-FAMILY BUILDINGS = 15,392 SQ. FT.
WALKWAYS = 1,600 SQ. FT.
PATIOS = 1,280 SQ. FT.
TOTAL = 37,972 SQ. FT. OR 39.6%

BUILDING COVERAGE:

15,393 / 96,852 = 15.8%

LAND SUITABLE FOR DEVELOPMENT:

WETLANDS: 0 AC.
FLOOD ZONE: 0 AC.
STREETS: 0 AC.
EASEMENTS: 0 AC. (EXISTING EASEMENT TO BE ABANDONED)
STEEP SLOPES: 0 AC.
TOTAL: 0 AC.

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
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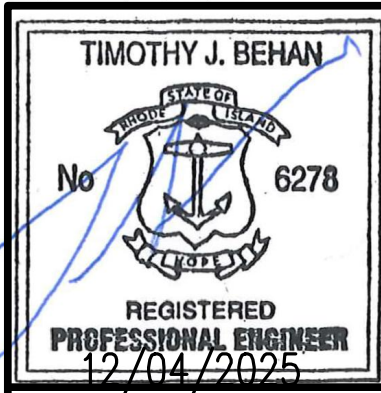
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- SITE IMPROVEMENT QUANTITIES:**
- THE SITE PROPOSES THE CONSTRUCTION OF THE FOLLOWING IMPROVEMENTS:
- TWENTY-FOUR (24) FOOT WIDE PRIVATE ROADWAY – 610 LF
 - ASPHALT PARKING AREA, 3.5-INCH THICK – 8,490 SQ FT
 - DRIVEWAY AND PARKING AREA BITUMINOUS CONCRETE BERM, 1' WIDE – 932 LF
 - FOUR (4) –FOOT WIDE CONCRETE SIDEWALKS – 64 LF.
 - PRECAST CONCRETE CURB – 64 LF.

DEMOLITION NOTES:

THE SITE IS CURRENTLY VACANT AND UTILITIES ARE ASSUMED ACTIVE. THE PROPERTY CURRENTLY CONTAINS FIVE (5) HOUSES, A GARAGE AND SEVERAL OUTBUILDING THAT ARE TO BE REMOVED AND BE DISPOSED OF IN A LEGAL MANNER. THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.

- DEMOLITION AT THE SITE WILL INCLUDE:
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND OBTAINING ANY PERMITS REQUIRED FOR ALL DEMOLITION.
 - REMOVE EXISTING UTILITIES AND CAP/CLOSE OUT PER UTILITY OWNERS SPECIFICATION. CONTRACTOR TO COORDINATE WITH UTILITY OWNERS AND SHALL BE RESPONSIBLE TO OBTAIN ANY PERMITS REQUIRED.
 - EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE AND ADDITIONAL UTILITIES MAY BE PRESENT.
 - EXISTING SITE IMPROVEMENTS INCLUDING CURBS, PAVER STONES, TREES AND DEBRIS TO BE REMOVED AND LEGALLY DISPOSED.
 - CONTRACTOR SHALL COORDINATE ANY DEMOLITION IN THE RIDOT AND/OR TON OF COVENTRY R.O.W. AND SHALL BE RESPONSIBLE FOR ANY PERMITS REQUIRED.
 - CONTRACTOR TO COORDINATE REMOVAL OF ANY FENCES LOCATED ALONG OR NEAR THE PROPERTY LINE WITH THE ADJUTING OWNER (IF ANY).
 - ANY EXISTING OWTs ENCOUNTERED SHALL BE CLOSE PER RIDOT OWTs REGULATIONS. ANY OWTs COMPONENTS REMOVED SHALL BE DISPOSED OF IN A LEGAL MANNER.
 - ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LEGAL MANNER.
 - ANY REMAINING FOUNDATIONS FROM PREVIOUS BUILDINGS SHALL BE REMOVED AND BE DISPOSED OF IN A LEGAL MANNER.



**PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT**
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED LAYOUT PLAN

SCALE: 1" = 30' SHEET NO: 5 OF 20
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: MARCH 27, 2025 PROJECT NO.: 25024.00

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EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING GAS LINE
EXISTING WATER LINE
EXISTING SEWER LINE
GAS VALVE BOX
WATER VALVE BOX
CURB STOP
UTILITY POLE AND NUMBER
EXISTING SEWER MANHOLE
EXISTING COMMUNICATIONS MANHOLE
DRAINAGE MANHOLE
CATCH BASIN OR DROP INLET
EXISTING SPOT GRADE
PROPOSED CONTOUR LINE
PROPOSED SPOT GRADE
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PROPOSED WATER LINE
PROPOSED SEWER LINE
BUILDING SETBACK LINE
FIRE HYDRANT
MONITORING WELL
EX. CHAIN LINK FENCE (HEIGHT VARIES)
PROPOSED CHAIN LINK FENCE
PERIMETER EROSION CONTROLS (COMPOST FILTER SOCK)
TEST HOLE LOCATION
BACKWATER VALVE
CLEANOUT
PROPOSED ROOF DRAIN
PROPOSED FOUNDATION DRAIN

RIDOT LEGEND

- GRANITE CURB
CURB SETTING DETAIL
CONSTRUCTION ACCESS
CEMENT CONCRETE SIDEWALK
CEMENT CONCRETE DRIVEWAY
FULL DEPTH SAWCUT & MATCH BITUMINOUS AND CEMENT CONCRETE ROADWAY PAVEMENT; FOR INSTALLATION OF NEW CEMENT CONCRETE BASE: DRILL AND DOWEL C/C 24"
FULL DEPTH SAWCUT & MATCH BITUMINOUS ROADWAY PAVEMENT (DO NOT CUT CEMENT CONCRETE PAVEMENT)
4" LOAM AND SEED
REMOVE & DISPOSE CONCRETE SIDEWALK
REMOVE & DISPOSE RIGID PAVEMENT
REMOVE & DISPOSE FLEXIBLE PAVEMENT
6" PAVEMENT MARKINGS - WHITE
DOUBLE 4" PAVEMENT MARKINGS - YELLOW
MATCH EXISTING CURB

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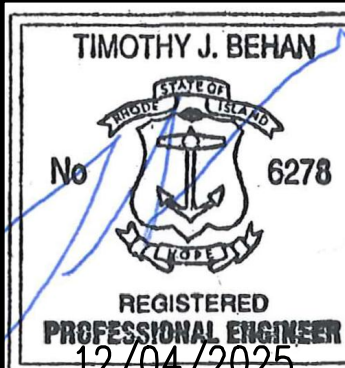
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- AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.



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PROPOSED GRADING PLAN

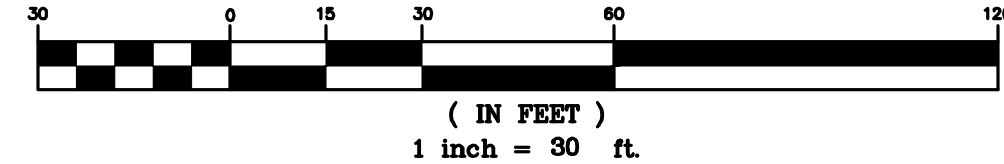
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PLAN VIEW

GRAPHIC SCALE



CONSTRUCTION NOTE:

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LEGEND

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ADJACENT PROPERTY LINE
EXISTING RIGHT OF WAY LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING GAS LINE
EXISTING WATER LINE
EXISTING SEWER LINE
GAS VALVE BOX
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EX. CHAIN LINK FENCE (HEIGHT VARIES)
PROPOSED CHAIN LINK FENCE
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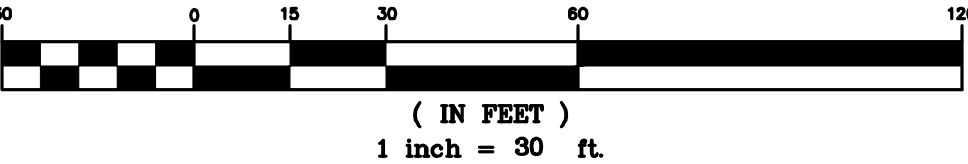
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DRAINAGE NOTES:

- SOME STRUCTURES MAY REQUIRE SHALLOW FRAMES (4-INCH HEIGHT).
- SHALLOW FRAMES TO BE MECHANICALLY FASTENED (BOLTED) TO STRUCTURES.
- MOST STRUCTURES REQUIRE FLAT TOPS.
- ALL CATCH BASINS SHALL HAVE 3-FOOT SUMPS MEASURED BELOW LOWEST INVERT.
- SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR ALL DRAINAGE COMPONENTS.
- ENGINEER SHALL INSPECT THE BOTTOM OF EACH INFILTRATION AREA PRIOR TO PLACEMENT OF CRUSHED STONE.
- ENGINEER SHALL BE NOTIFIED A MIN. OF 24 HOURS BEFORE CONSTRUCTING ANY INFILTRATION SYSTEM OR UNDERGROUND LINED SAND FILTERS.
- ALL FILL AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM BENEATH ALL INFILTRATION SYSTEMS.
- ANY BACKFILL PLACED BELOW INFILTRATION SYSTEMS SHALL BE ASTM C-33 SAND.
- SCAFFRY BOTTOM PRIOR TO PLACEMENT OF STONE OR ASTM C-33 SAND.
- DO NOT ALLOW SEDIMENT LADEN RUNOFF TO ENTER SYSTEM.
- INSTALL FABRIC DROP OR SILT SACK IN EACH NEW CATCH BASIN AS FRAME AND GRATE IS INSTALLED.

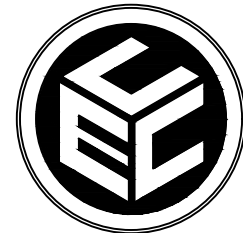
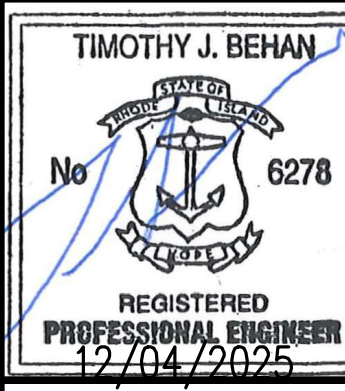
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	CLEANOUT
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ESTIMATED PROPOSED DAILY DESIGN WASTEWATER FLOWS PER RIDEM REGULATIONS			
TYPE	DESIGN FLOW	DESIGN UNITS	DESIGN FLOW
BEDROOMS	115 GAL/BEDROOM/DAY	32	3,680
EMPLOYEE	15 GAL/EMPLOYEE/DAY	0	0
WASHING MACHINE	500 GAL/MACHINE/DAY	0	0
TOTAL ESTIMATED MAXIMUM DAILY DESIGN FLOW (GAL)			3,680

SEWER LATERAL SUMMARY TABLE						
BUILDING	CONNECTION STATION	TOP SEWER MAIN AT LATERAL CONNECTION (FT)	LATERAL INVERT ELEVATION AT SEWER MAIN WITH 2% SLOPE	LATERAL LENGTH	LATERAL INVERT AT BUILDING (FT)	BASEMENT SLAB (FT)
A & B	2+71.65	244.38	250.31	34.50	251.00	253.50
C & D	2+09.35	245.01	250.27	36.50	251.00	253.50
E & F	1+39.50	245.79	249.98	36.00	250.70	253.20
G & H	0+92.60	246.26	248.26	41.80	249.10	251.60
I & J	0+28.50	246.90	249.52	49.00	250.50	249.50
K & L	2+41.60	244.68	246.89	30.50	247.50	250.00
M & N	1+73.30	245.38	246.88	31.00	247.50	250.00
O & P	0+30.90	246.90	248.84	33.00	249.50	248.50

NOTE: USE EITHER STANDARD HOUSE CONNECTION-WEST WARWICK SEWER AUTHORITY DETAIL WW-14 OR STANDARD DEEP HOUSE CONNECTION-WEST WARWICK SEWER AUTHORITY DETAIL

WATER LATERAL SUMMARY TABLE				
BUILDING	CONNECTION STATION	1-INCH LATERAL LENGTH (FT)	LATERAL INVERT AT BUILDING (FT)	BASEMENT SLAB (FT)
A & B	2+59.50	13.0	254.50	253.50
C & D	1+96.30	14.0	254.50	253.50
E & F	1+51.10	13.1	254.20	253.20
G & H	0+81.60	16.5	252.60	251.60
I & J	0+36.30	18.5	250.50	249.50
K & L	2+28.66	52.5	251.00	250.00
M & N	1+57.72	55.5	251.00	250.00
O & P	0+43.00	60.0	249.50	248.50

DOMESTIC WATER DEMANDS:609

AS PER THE KENT COUNTY RULES & REGULATIONS, PART III:

ASSUME: -100 GPD PER PERSON
-2 PERSONS PER BEDROOM
-2 BEDROOMS PER UNIT
-16 UNITS
-MAXIMUM DAY MULTIPLIER = 2.0

PROPOSED AVERAGE DAILY FLOW:
(100 GPD/PERSON)*(2 PERSONS/BEDROOM)*(2 BEDROOMS/UNIT)*(16 UNITS) = 6,400 GPD

PROPOSED MAXIMUM DAILY FLOW:
(100 GPD/PERSON)*(2 PERSONS/BEDROOM)*(2 BEDROOMS/UNIT)*(16 UNITS)*2.0 = 12,800 GPD

PROPOSED PEAK HOURLY FLOW:
(100 GPD/PERSON)*(2 PERSONS/BEDROOM)*(2 BEDROOMS/UNIT)*(16 UNITS)*5.71/ = 1523 GPH

PEAK HOUR FACTOR: "TR-16 GUIDES FOR THE DESIGN OF WASTEWATER TREATMENT WORKS" FIGURE 2.1 "RATIO OF EXTREME FLOW TO AVERAGE DAILY FLOW"

WATER SYSTEM CONSTRUCTION NOTES:

- SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL OF ENTIRE MASTER METER ENCLOSURE, ASSEMBLY AND HEATING SYSTEM. SHOP DRAWINGS TO BE STAMPED BY A R.I. PROFESSIONAL ENGINEER AND APPROVED BY THE KCWA.
- INSTALL MASTER METER ENCLOSURE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PROVIDE NON-CORROSIVE SUPPORTS FOR RPZ AND METER, CONCRETE OR EQUAL.
- ALL LATERALS SHALL BE 1-INCH COPPER TYPE K.
- PROVIDE 12" COPPER WHIPS INTO/OUT OF STRUCTURE. SERVICE PIPE SHALL BE SLEEVED IN 4" HDPE FLEXIBLE PIPE THROUGH CONCRETE SLAB. 4" SLEEVE SHALL EXTEND TO FROST DEPTH OF 4'-6".
- ENCLOSURE SHALL BE MANUFACTURED TO PREVENT FREEZING TEMPERATURES WITHIN ENCLOSURE WHEN OUTSIDE TEMPERATURES DROP TO -20°F.
- ENCLOSURE SHALL BE DESIGNED WITH "FLIP TOPS" FOR EASY ACCESS AND MAINTENANCE.
- ENCLOSURE SHALL BE DESIGNED WITH "FLOW OUT PANELS" TO ACCOMMODATE RPZ FLOW RATES OF 300 GPM.
- ENCLOSURE SHALL BE MANUFACTURED BY HOTEBOX OR EQUAL.

RIDOT R.O.W. NOTES:

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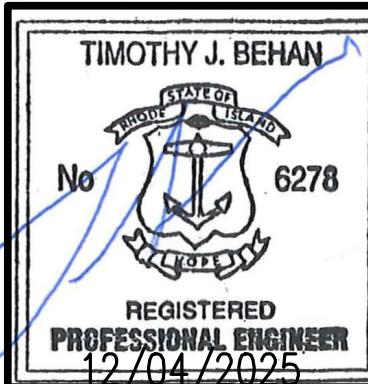
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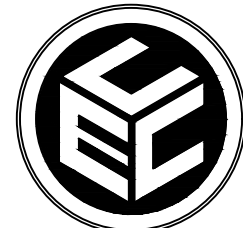
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☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



REVISIONS

No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
3	09-02-25	SMA	TJB
4	09-11-25	SMA	TJB
5	11-07-25	SMA	TJB
6	12-04-25	SMA	TJB



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT

FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED UTILITY PLAN

SCALE: 1" = 30'

SHEET NO: 8 OF 20

DRAWN BY: SMA

DESIGN BY: SMA

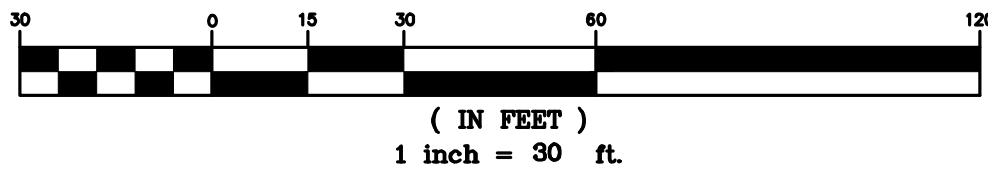
CHECKED BY: TJB

DATE: MARCH 27, 2025

PROJECT NO.: 25024.00

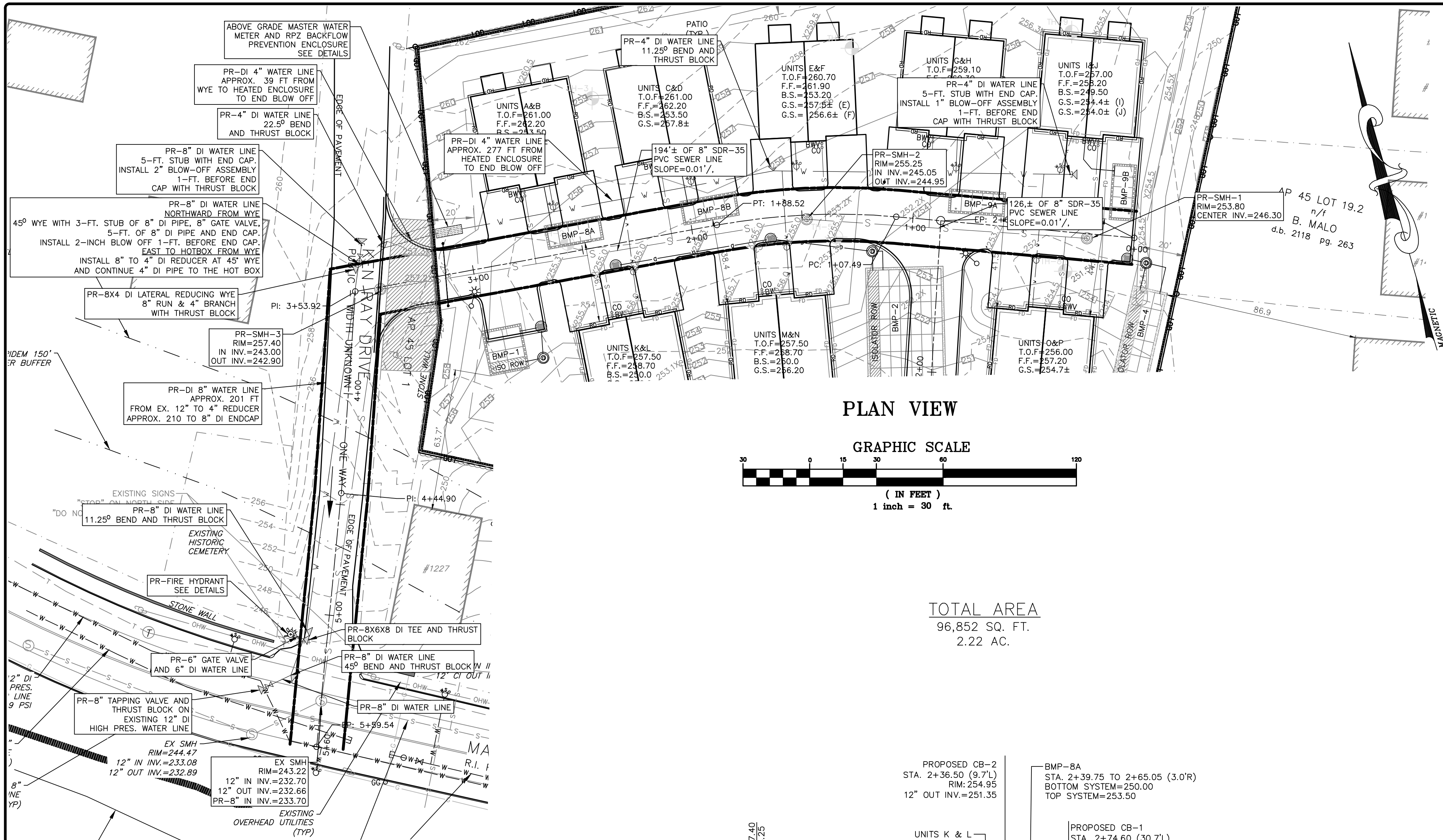
PLAN VIEW

GRAPHIC SCALE



CONSTRUCTION NOTE:

- THE CONTRACTOR SHALL CONTACT "DIGSAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



RIDOT R.O.W. NOTES:

- ALL WORK TO BE PERFORMED WITHIN THE STATE HIGHWAY RIGHT OF WAY (R.O.W.) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AUGUST 2023 EDITION WITH ALL REVISIONS. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED OCTOBER 2022) WITH ALL REVISIONS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.
- CONTRACTOR MUST SUBMIT AN APPLICATION AND APPLY FOR SEPARATE UTILITY PERMIT FOR ALL UTILITY WORK TO BE PERFORMED IN THE RIDOT R.O.W.. THE APPROVAL OF THE PAPA IS NOT A SUBSTITUTE FOR A UTILITY PERMIT AND APPROVAL OF THE PAPA DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UNSHOWN, WITHIN THE STATE R.O.W..
- AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.

CONSTRUCTION NOTE:

- THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

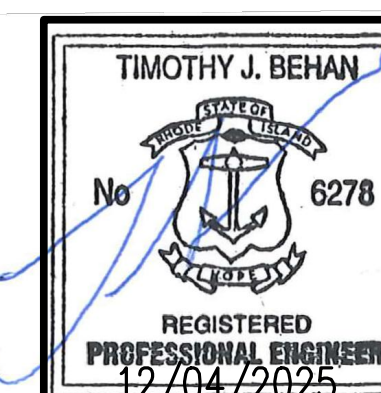
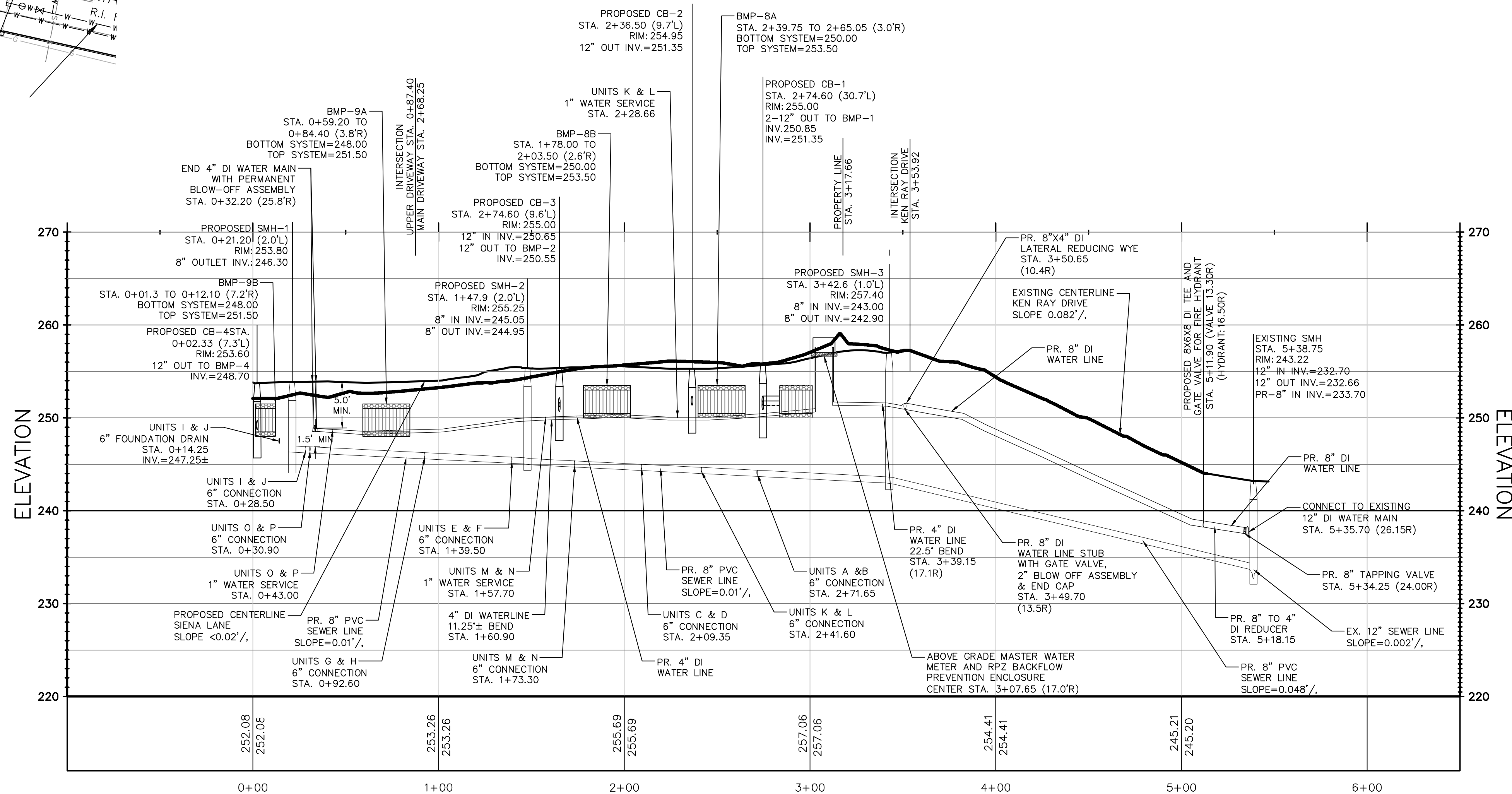
OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401) 732-9300

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN, ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



REVISIONS

No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
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6	12-04-25	SMA	TJB



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
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(401) 273-6600

PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT

FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED ROADWAY PROFILE-1

SCALE: AS SHOWN		SHEET NO: 9 OF 20	
DRAWN BY: SMA	DESIGN BY: SMA		CHECKED BY: TJB
DATE: MARCH 27, 2025		PROJECT NO.: 25024.00	

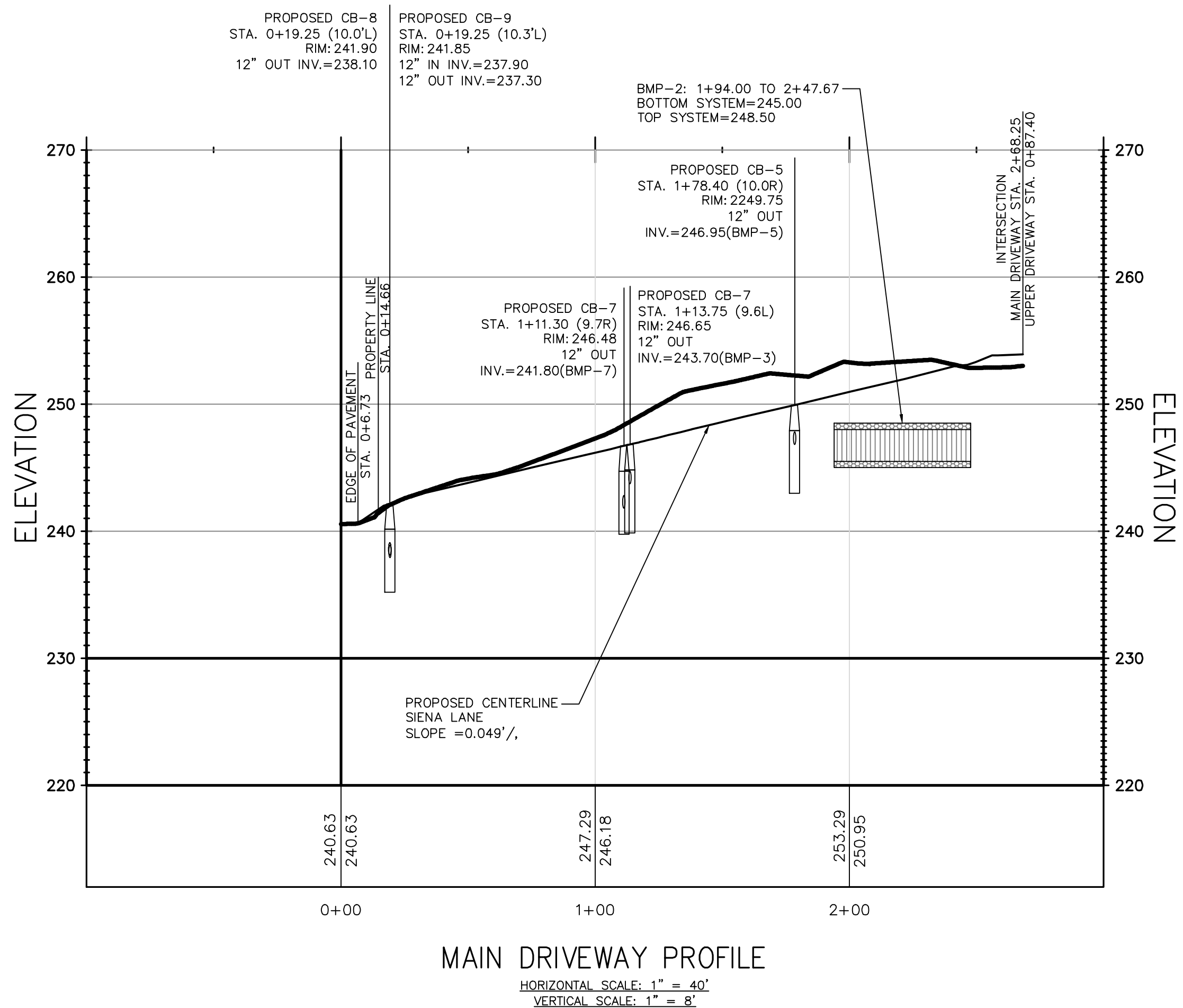


RIDOT R.O.W. NOTES:

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- AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.

CONSTRUCTION NOTE:

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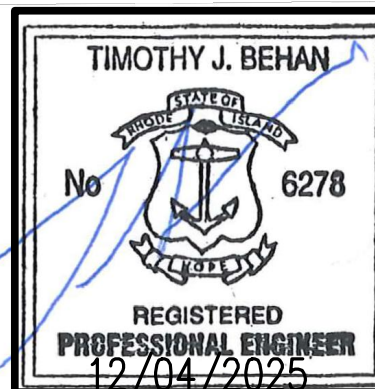


OWNER:
STEPHEN T. JURCZYK
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COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
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☐ CONSTRUCTION
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- ONLY PLANS ISSUED FOR
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CONSTRUCTION



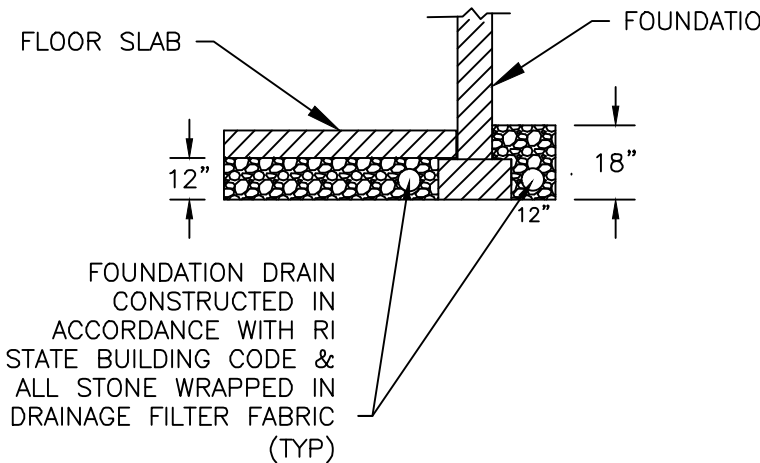
PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED ROADWAY PROFILE-2

SCALE: AS SHOWN SHEET NO: 10 OF 20
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: MARCH 27, 2025 PROJECT NO.: 25024.00

REVISIONS			
No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
3	09-02-25	SMA	TJB
4	09-11-25	SMA	TJB
5	11-07-25	SMA	TJB
6	12-04-25	SMA	TJB

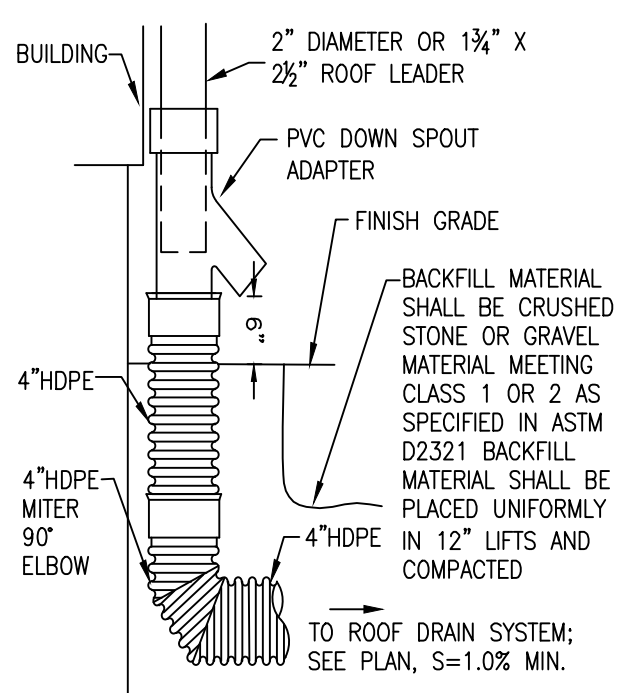
LEGEND

- — — — — PARCEL PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- - - - - EXISTING RIGHT OF WAY LINE
- - - 40 - - - EXISTING MAJOR CONTOUR
- - - 27 - - - EXISTING MINOR CONTOUR
- - - 6 - - - EXISTING GAS LINE
— W — W — EXISTING WATER LINE
— S — S — EXISTING SEWER LINE
GG ○ GAS VALVE BOX
Σ WV WATER VALVE BOX
○ CURB STOP
UP-297 UTILITY POLE AND NUMBER
SMH EXISTING SEWER MANHOLE
COM-MH EXISTING COMMUNICATIONS MANHOLE
DMH DRAINAGE MANHOLE
DI/CB CB CATCH BASIN OR DROP INLET
X39.50 EXISTING SPOT GRADE
40 PROPOSED CONTOUR LINE
X39.50 PROPOSED SPOT GRADE
— W — W — EXISTING GUARD RAIL
— S — S — PROPOSED WATER LINE
— S — S — PROPOSED SEWER LINE
— — — — — BUILDING SETBACK LINE
FIRE HYDRANT
MW MONITORING WELL
EX. CHAIN LINK FENCE (HEIGHT VARIES)
PROPOSED CHAIN LINK FENCE
PERIMETER EROSION CONTROLS
(COMPOST FILTER SOCK)
TH-5 TEST HOLE LOCATION
BWV BACKWATER VALVE
CO CLEANOUT
FD PROPOSED ROOF DRAIN (RD)
RD PROPOSED FOUNDATION DRAIN (FD)



FOUNDATION DRAIN

NOT TO SCALE



ROOF LEADER DETAIL

NOT TO SCALE

NOTE:
FOR PIPE BELOW A PAVED SURFACE, A MIN. OF 12"
OF BACKFILL MATERIAL IS REQUIRED OVER THE TOP
OF THE PIPE CROWN MEASURED FROM THE BOTTOM
OF THE PAVEMENT. PIPE UNDER PAVEMENT SHALL
BE SDR35 OR APPROVED EQUAL AND BEDDED IN 3"
CRUSHED STONE, 8" MIN. AROUND PIPE.

OWNER:
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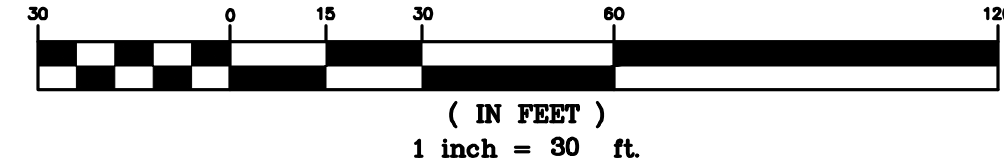
LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

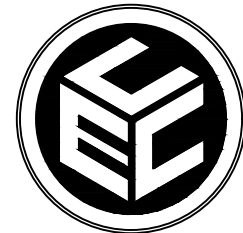
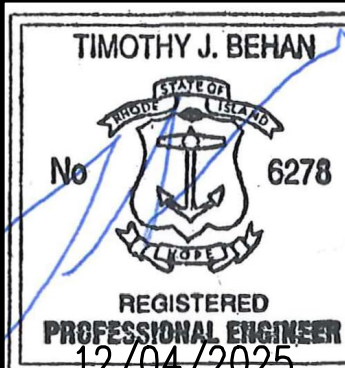
- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR
CONSTRUCTION SHALL BE USED FOR
CONSTRUCTION

PLAN VIEW

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
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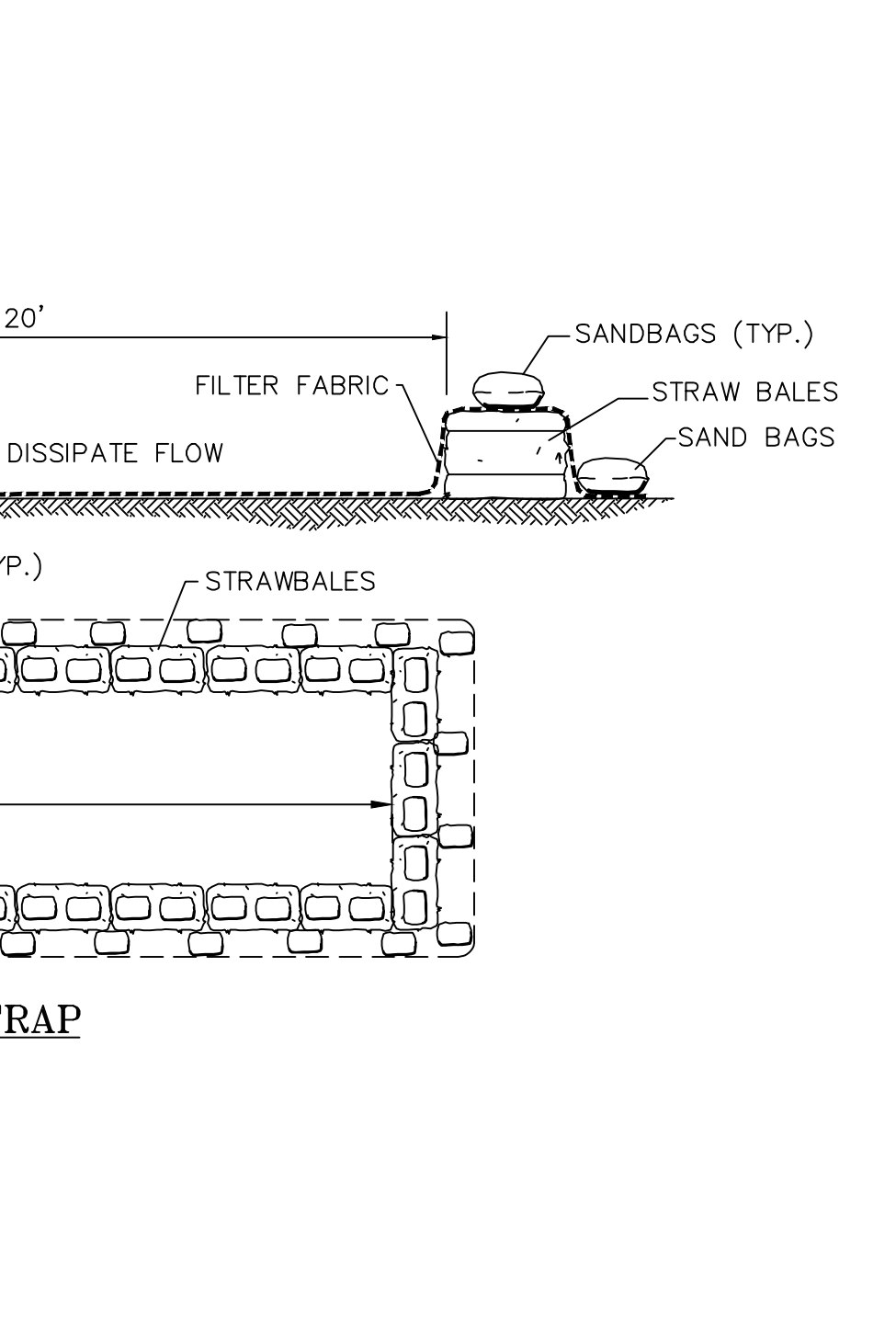
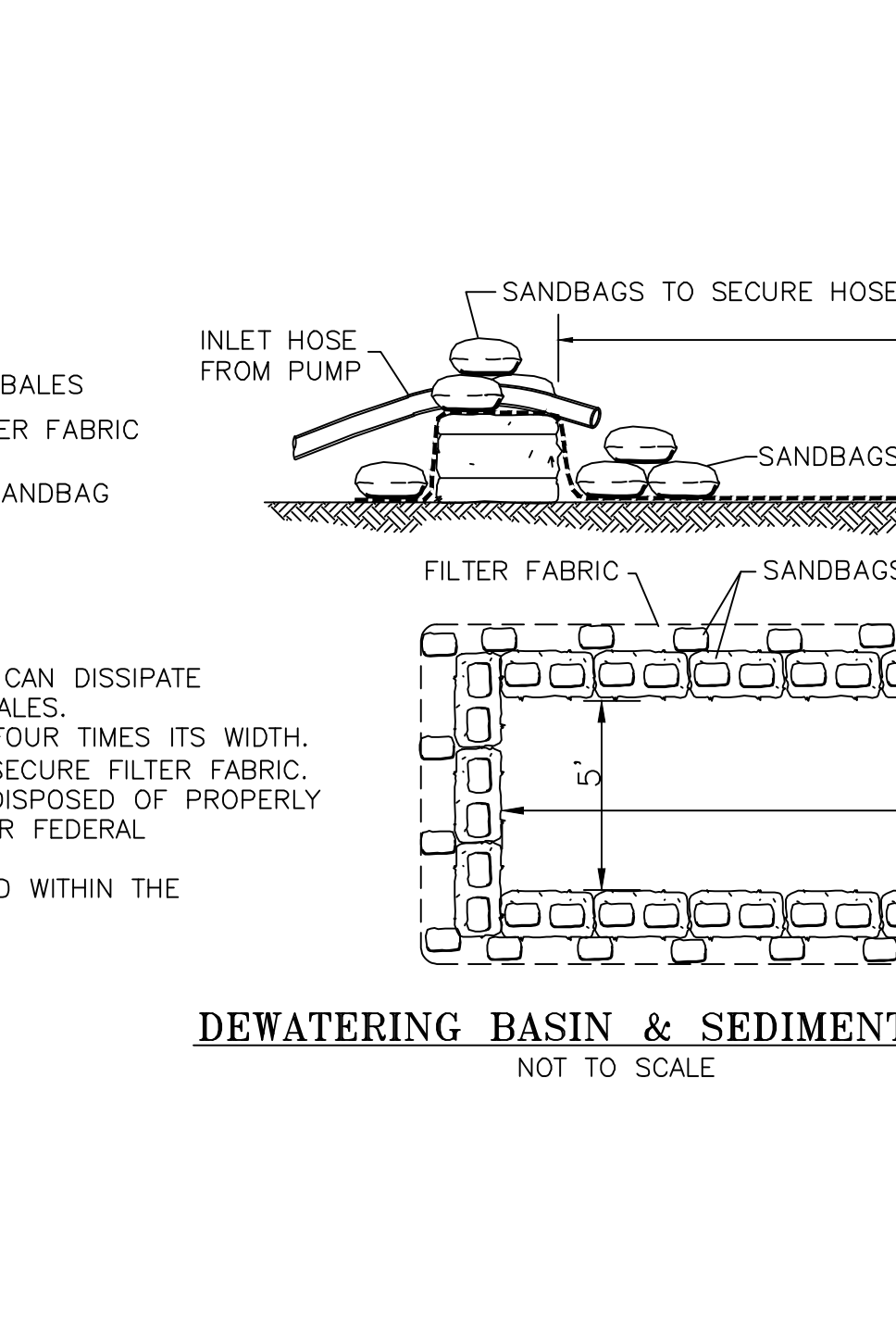
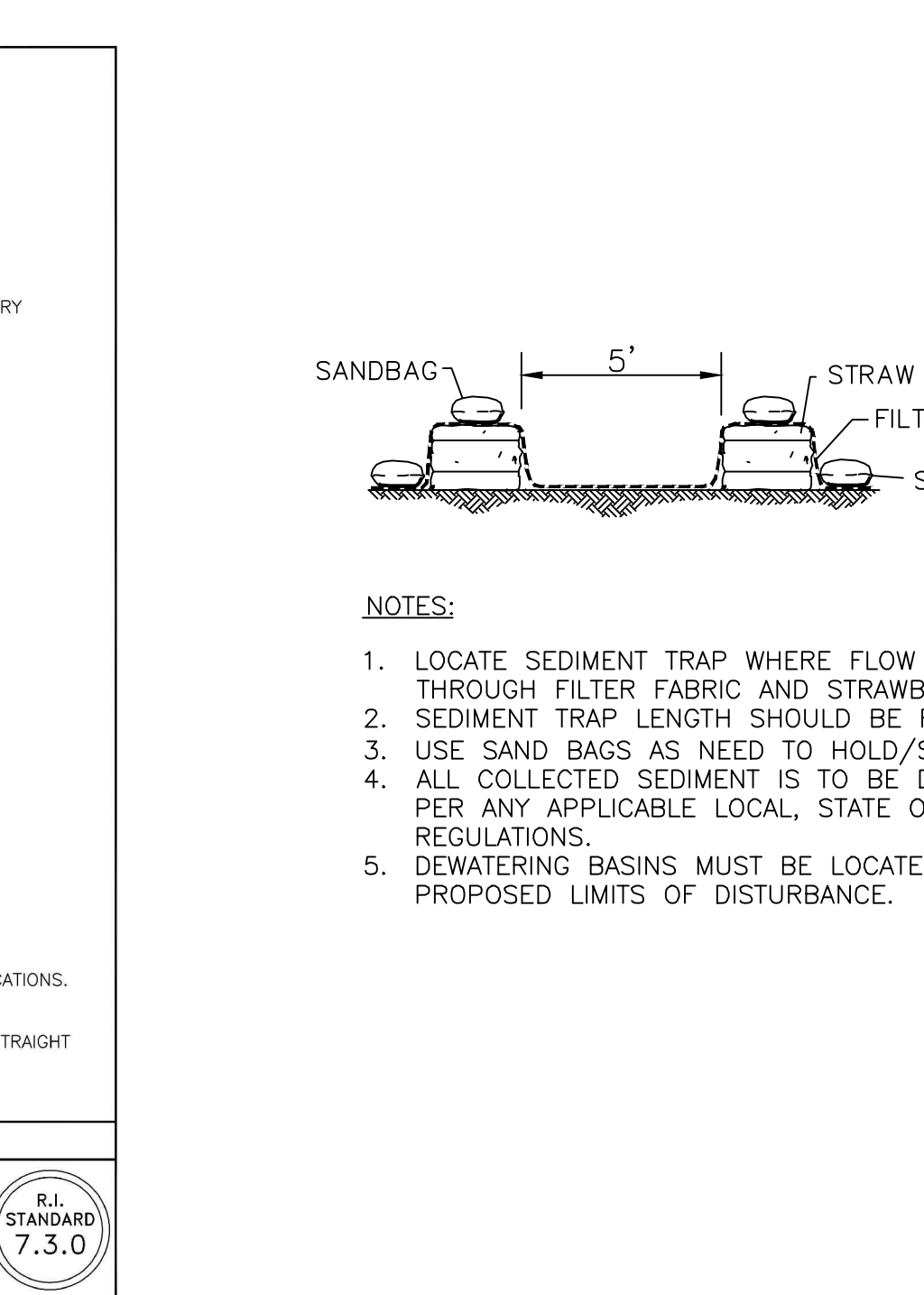
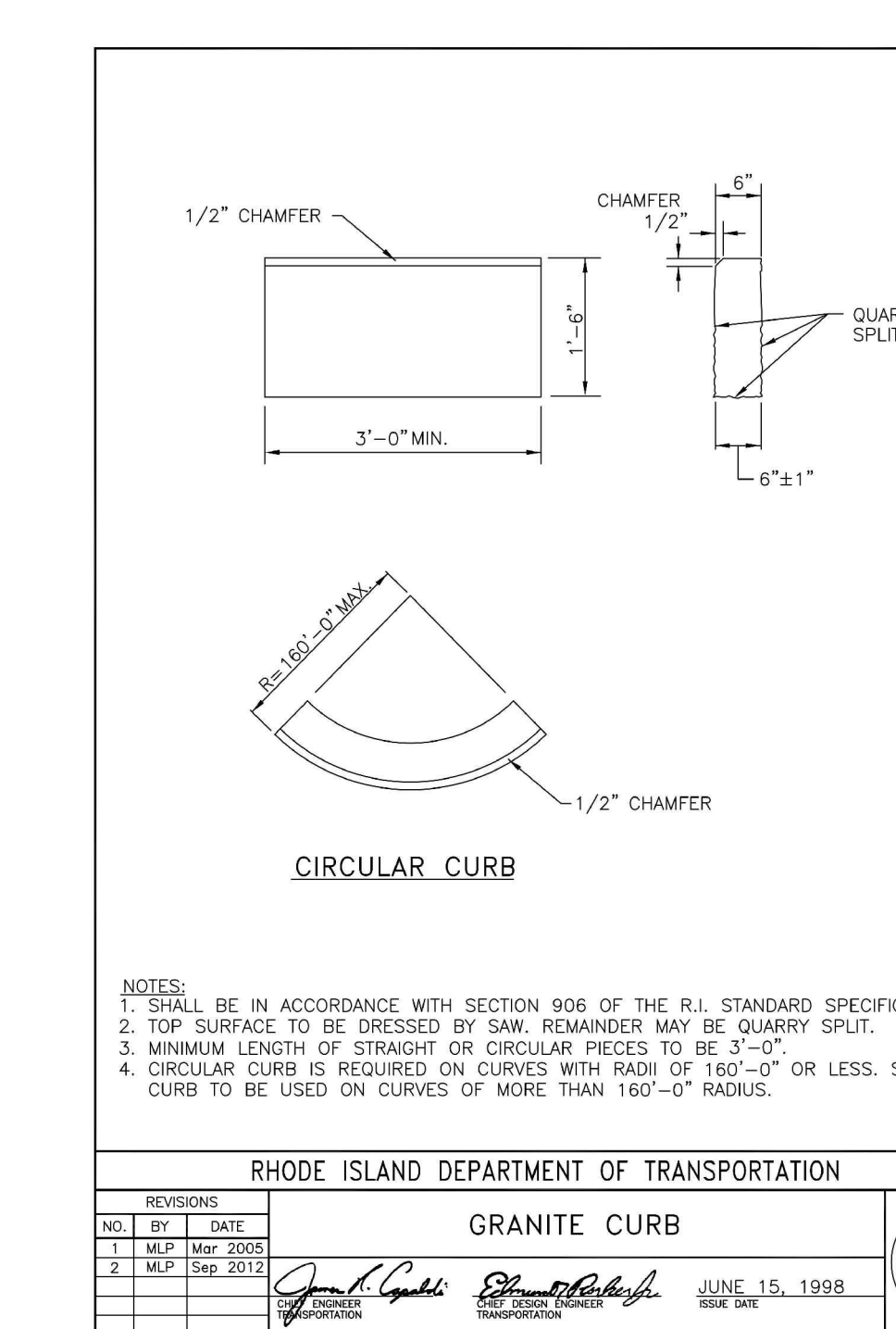
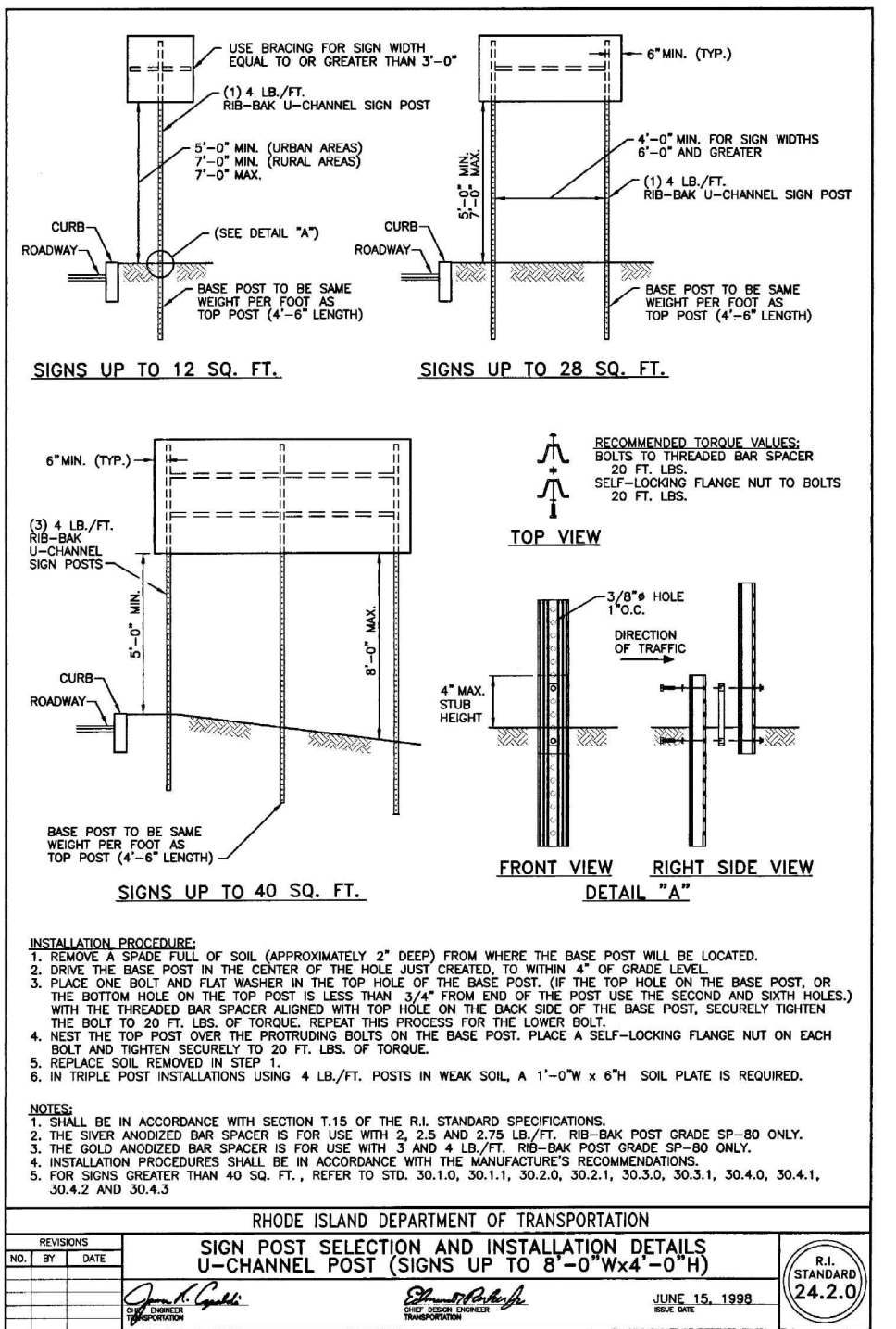
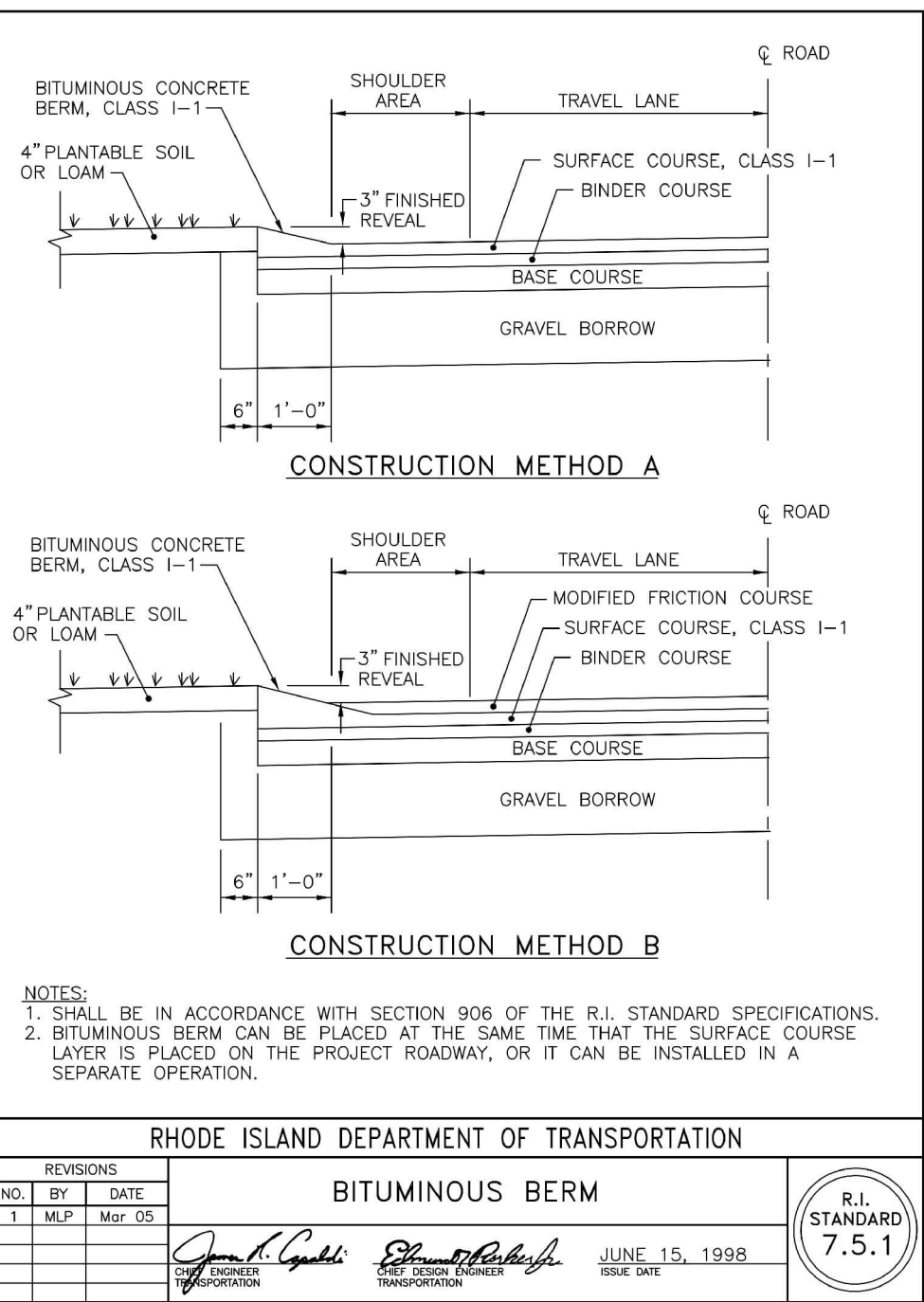
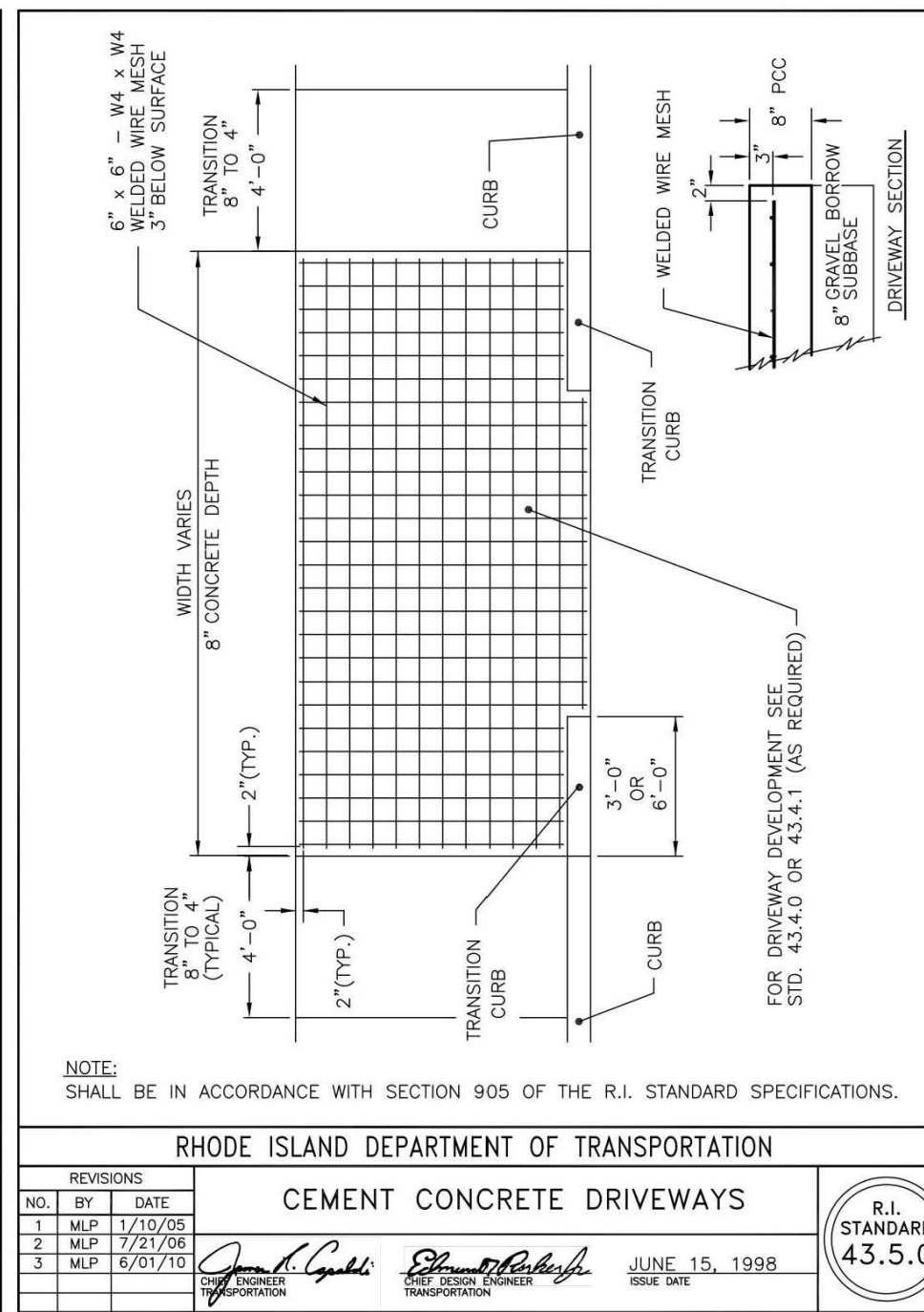
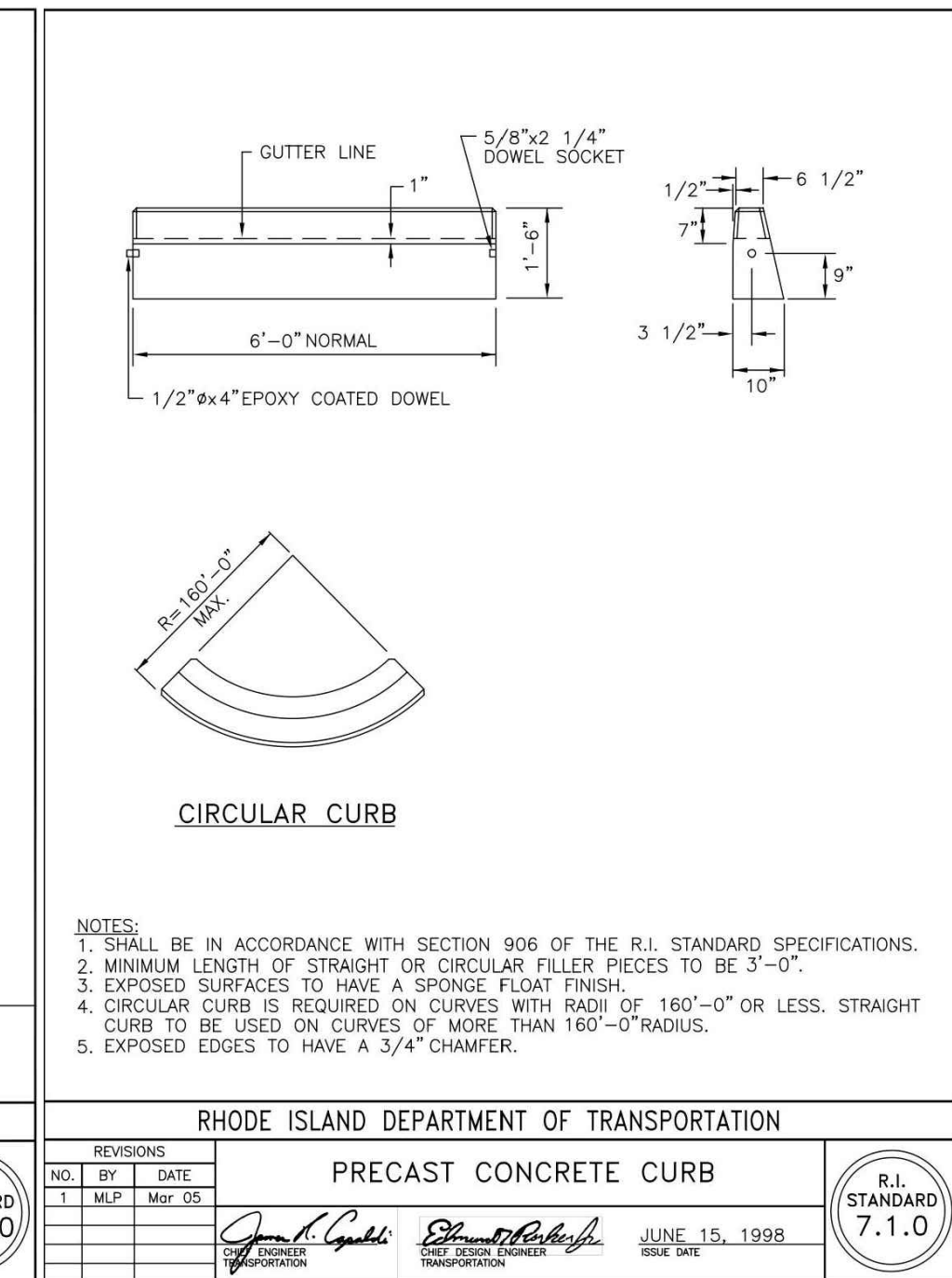
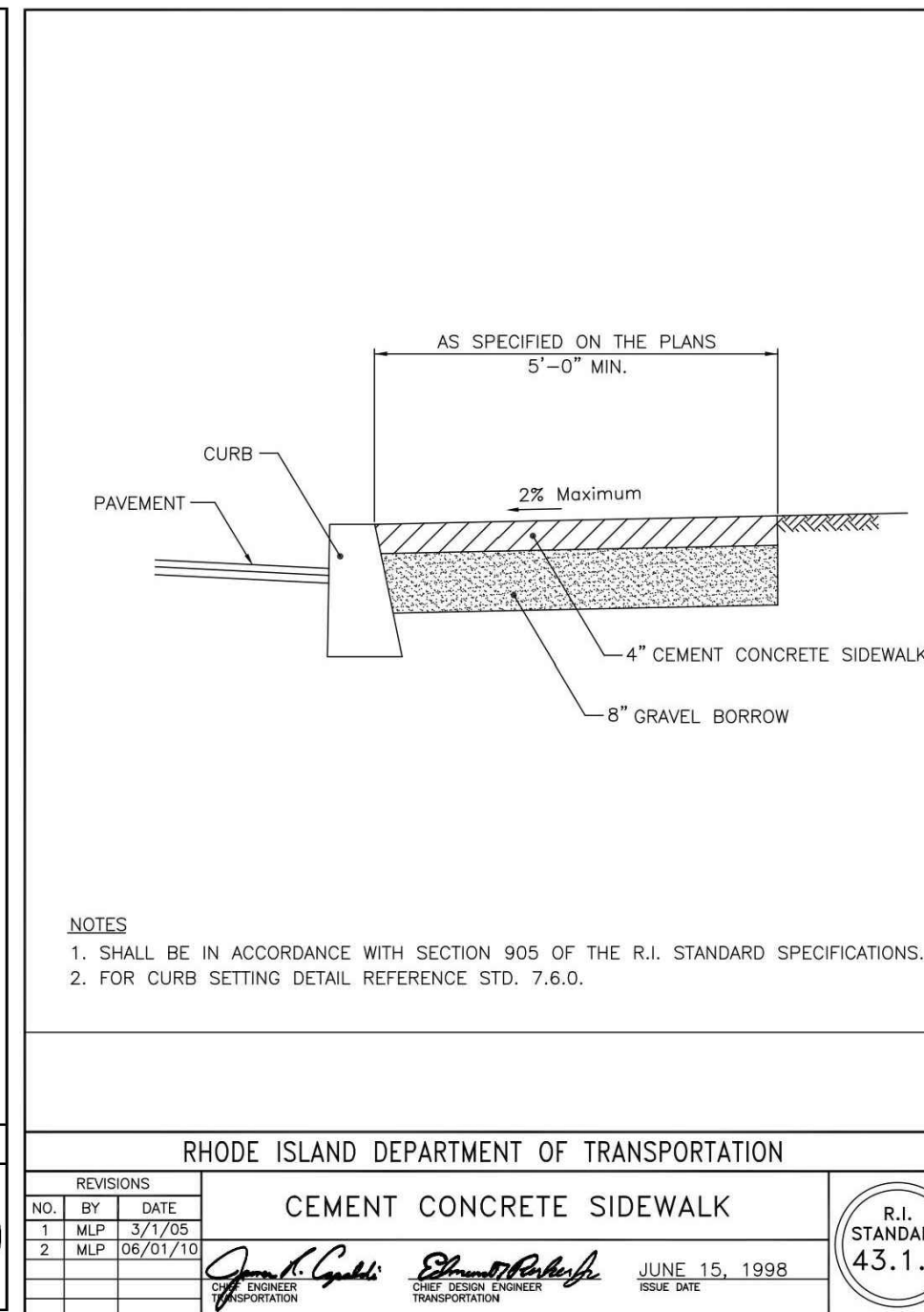
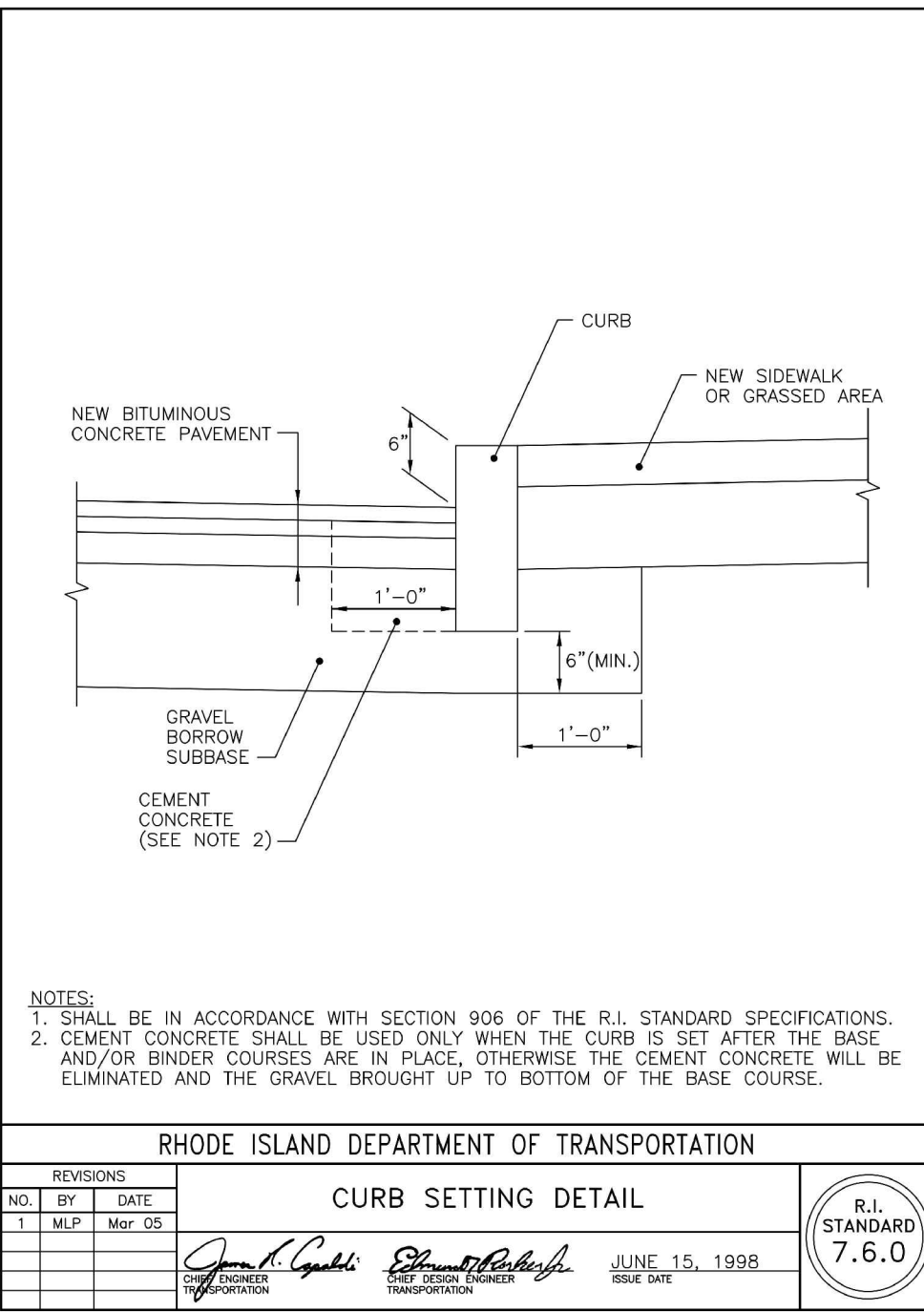
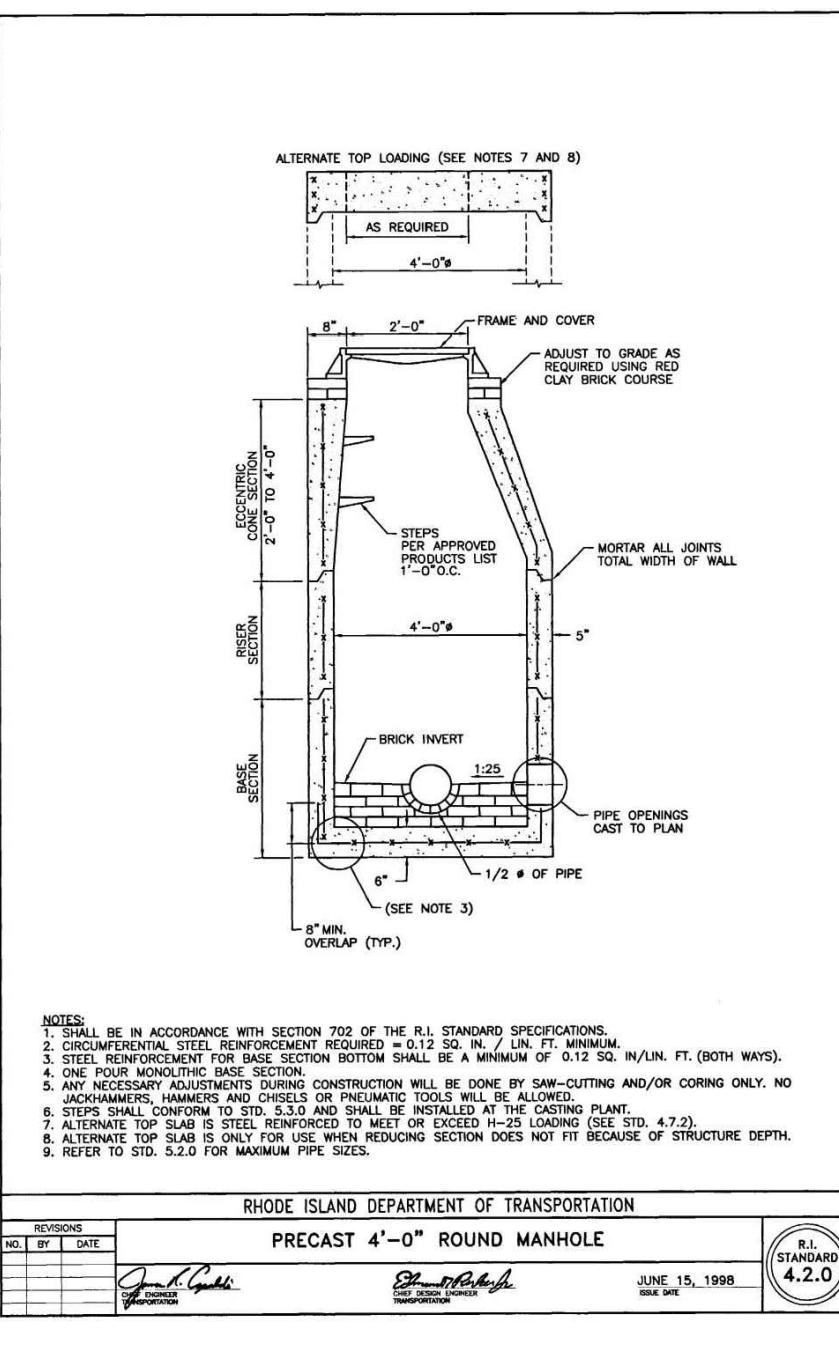
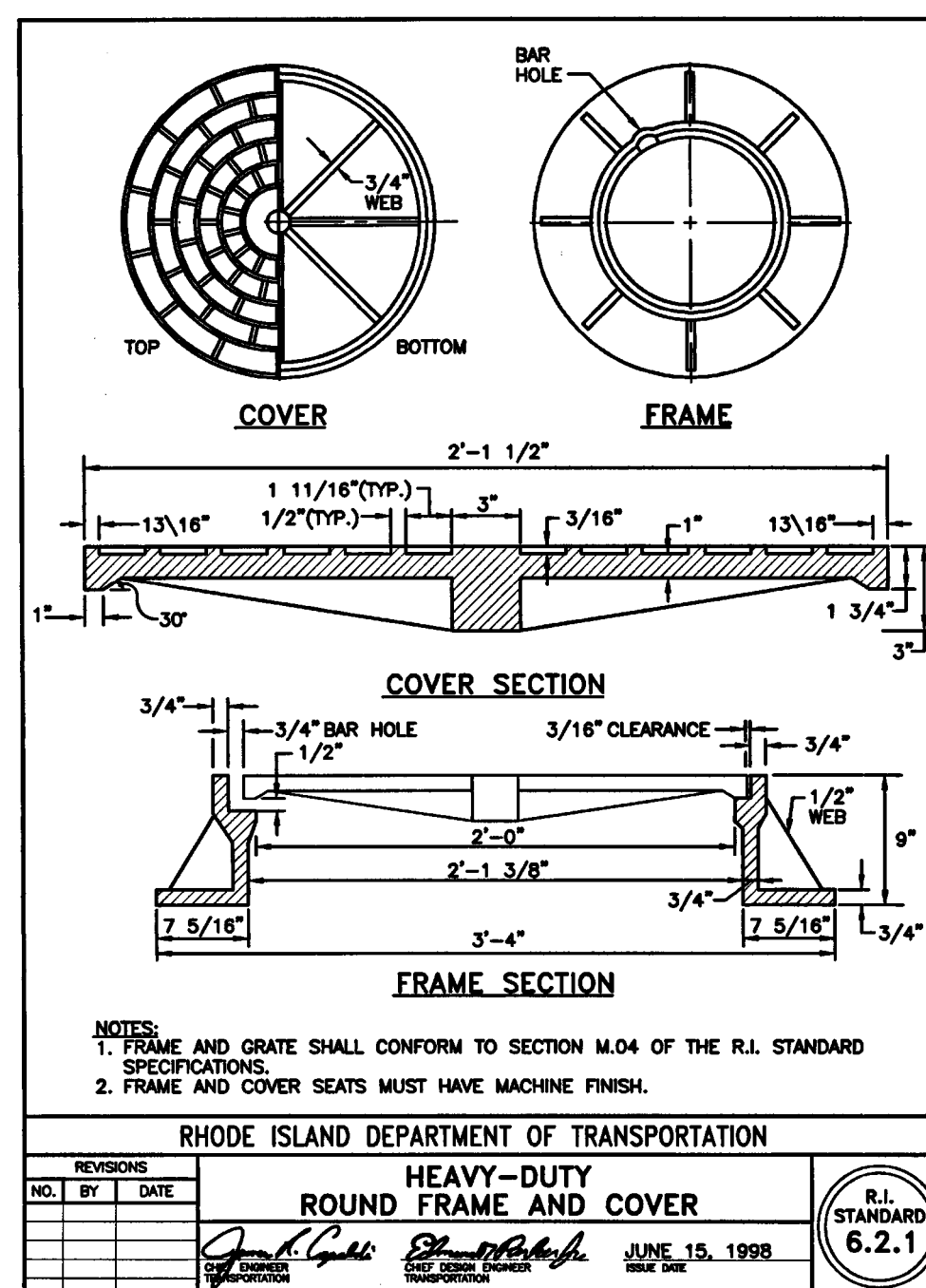
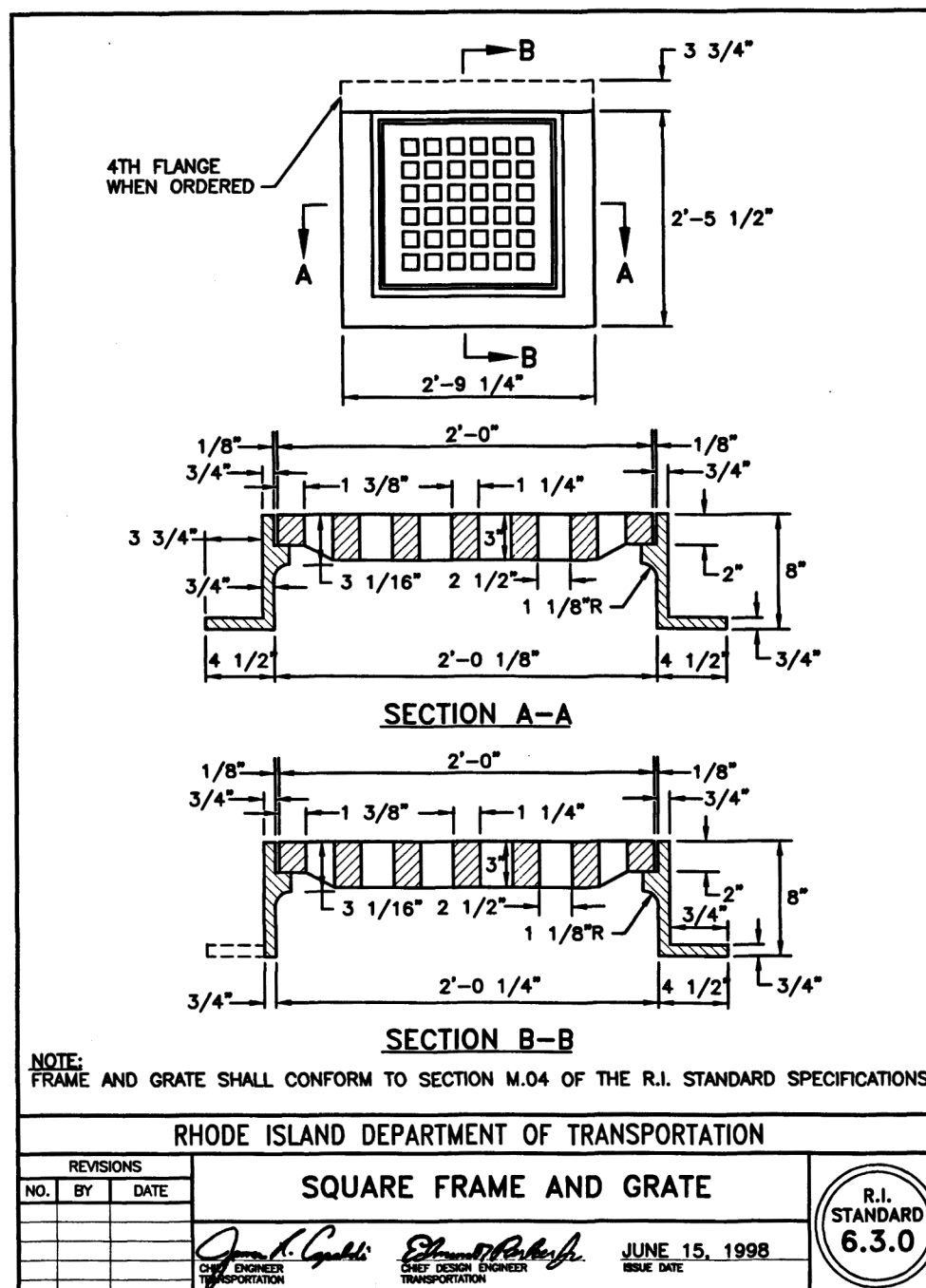
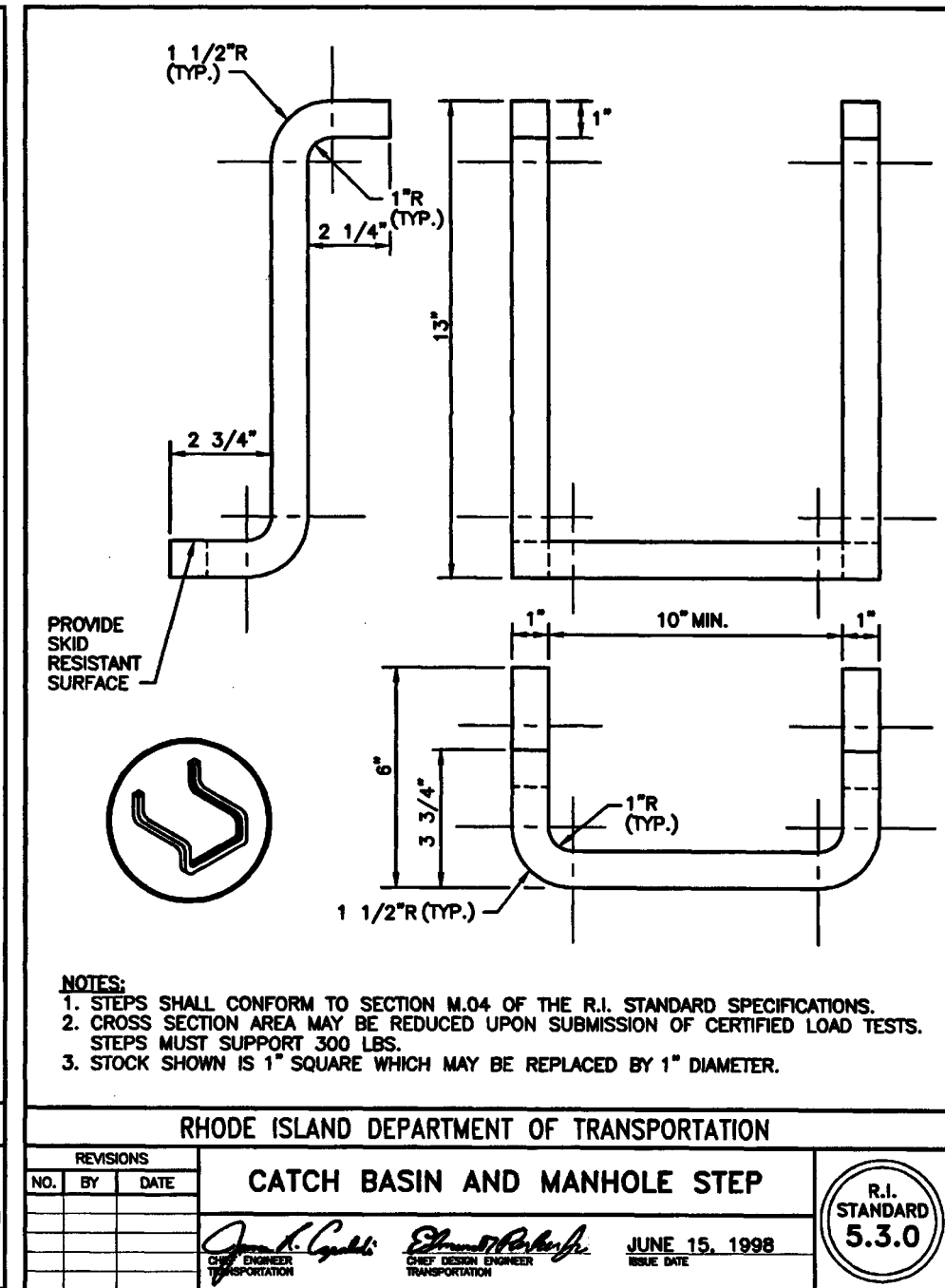
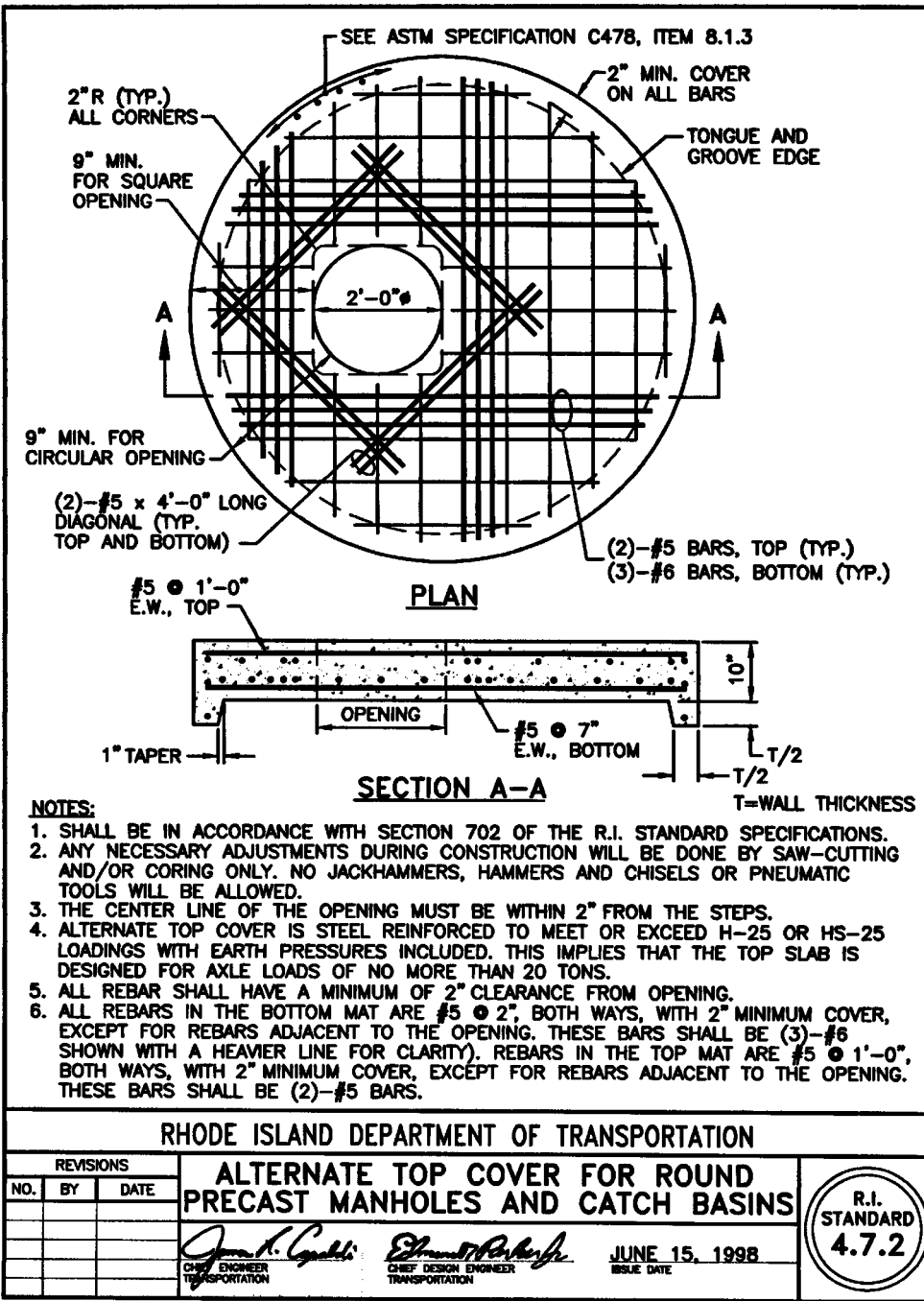
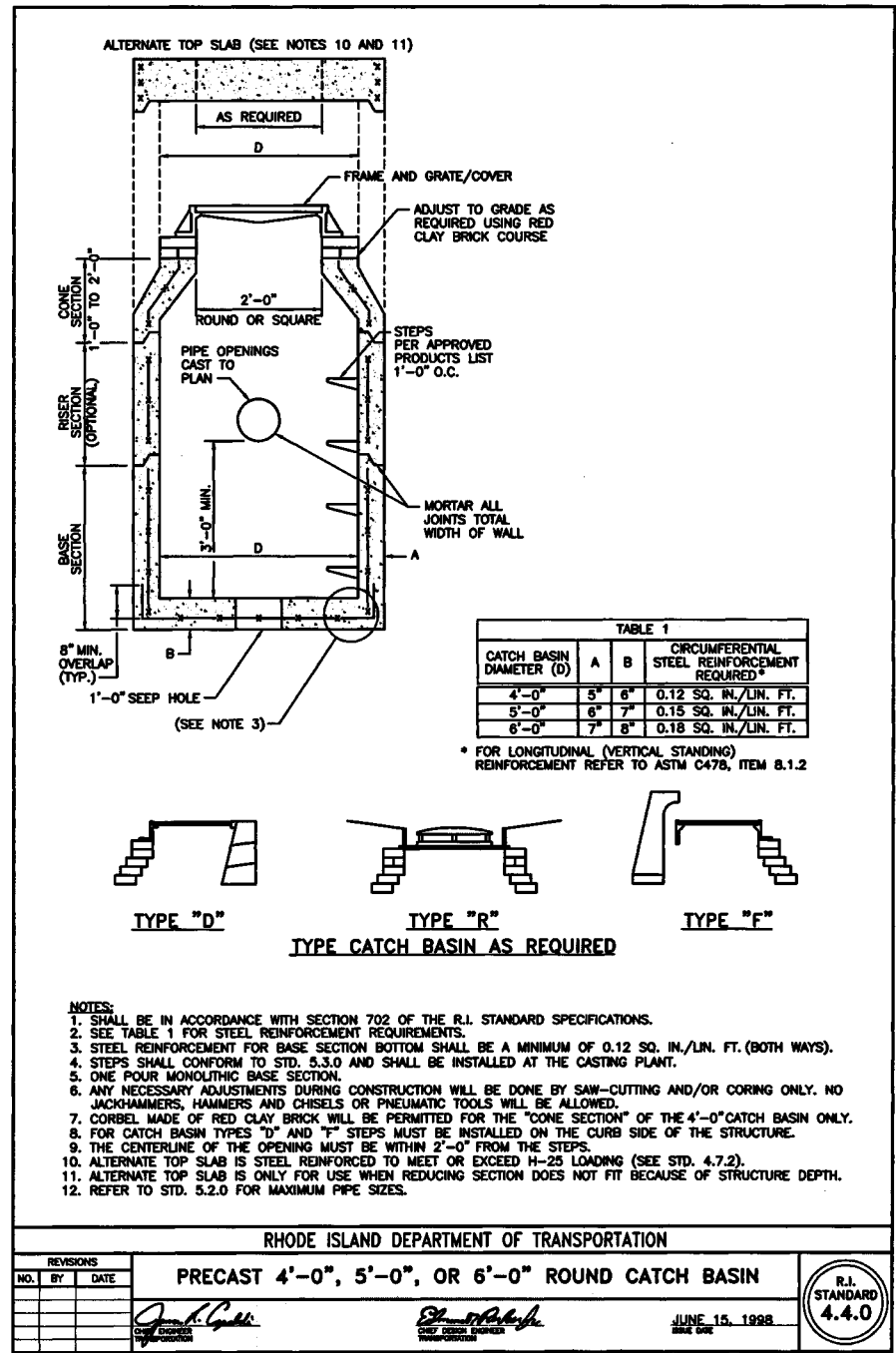
PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT

FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
PROPOSED ROOF & FOUNDATION DRAIN PLAN

SCALE: 1" = 30'
SHEET NO: 11 OF 20
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: MARCH 27, 2025 PROJECT NO.: 25024.00

REVISIONS				
No.	DATE	DRWN	CHKD	
1	07-29-25	SMA	TJB	
2	07-31-25	SMA	TJB	
3	09-02-25	SMA	TJB	
4	09-11-25	SMA	TJB	
5	11-07-25	SMA	TJB	
6	12-04-25	SMA	TJB	

ONLY PLANS ISSUED FOR
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CONSTRUCTION



OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
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PATRICK CZERWIEN, MANAGER
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PHONE: (401) 413-5648

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DRAWING ISSUE:

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☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

LEGEND

COLOR	BACKGROUND	RED			
		COPY	WHITE	WHITE	WHITE
SIGN DIMENSION	WIDTH	24"	30"	36"	48"
	HEIGHT	24"	30"	36"	48"

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

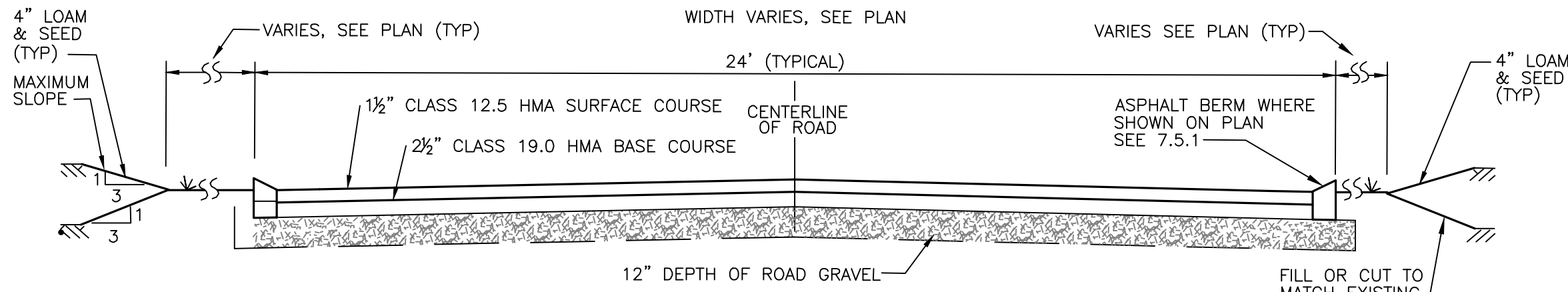
PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT

FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-1

SCALE: AS SHOWN **SHEET NO:** 13 OF 20

DRAWN BY: SMA **DESIGN BY:** SMA **CHECKED BY:** TJB

DATE: MARCH 27, 2025 **PROJECT NO.:** 25024.00

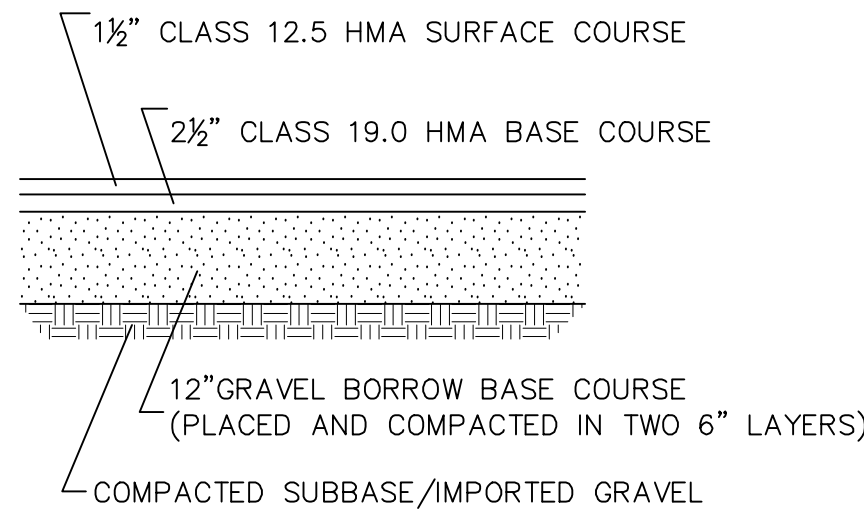


ROAD GRAVEL SPEC.:
GRAVEL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 4". GRAVEL SHALL MEET THE FOLLOWING:

SIEVE SIZE	% PASSING
1.5"	100%
0.75"	50%-85%
#4	30%-55%
#50	8%-25%
#200	2%-10%

- NOTES: 1. ALL MATERIALS & METHODS TO MEET RIDOT & CITY STANDARDS.
2. ALL EXISTING LOAM, SUBSOIL, TREE ROOTS, ETC. SHALL BE REMOVED.
3. ALL FILL BENEATH ROAD SHALL BE RIDOT GRAVEL COMPACTED TO 95% MAXIMUM DENSITY.

PRIVATE DRIVEWAY TYPICAL DETAIL
NOT TO SCALE



SITE PAVEMENT TYPICAL CROSS SECTION
NOT TO SCALE

R-1 RIP RAP:
100% PASS - 2"
0-50% PASS - 1"
0-15% PASS - NO.4
MIN. DEPTH=6"
BEDDING=FS-1
MIN. DEPTH=3"

R-2 RIP RAP:
100% PASS - 4"
0-50% PASS - 2"
0-15% PASS - 1"
MIN. DEPTH=6"
BEDDING=FS-1
MIN. DEPTH=3"

FILTER FABRIC SPEC.:
SHALL MEET THE FOLLOWING:
THICKNESS=0.08"
OPENING SIZE=#80 SIEVE
FLOW RATE=125 GAL/MIN.
ASTM D751=125 LB.
ASTM D1117=400 PSI.
ASTM D1682=300 LB.

TOPSOIL SPEC.:
TOPSOIL SHALL HAVE A TEXTURE CLASSIFICATION OF SANDY LOAM AND BE FREE OF ROCKS GREATER THAN 3/4". ROOTS, DEBRIS AND ANY UNDESIRABLE MATERIALS AS DETERMINED BY THE TOWN OR ENGINEER. TOPSOIL SHALL ALSO MEET RIDOT SPECIFICATIONS AND HAVE A PERCOLATION RATE OF 10 MINUTES PER INCH OR FASTER.

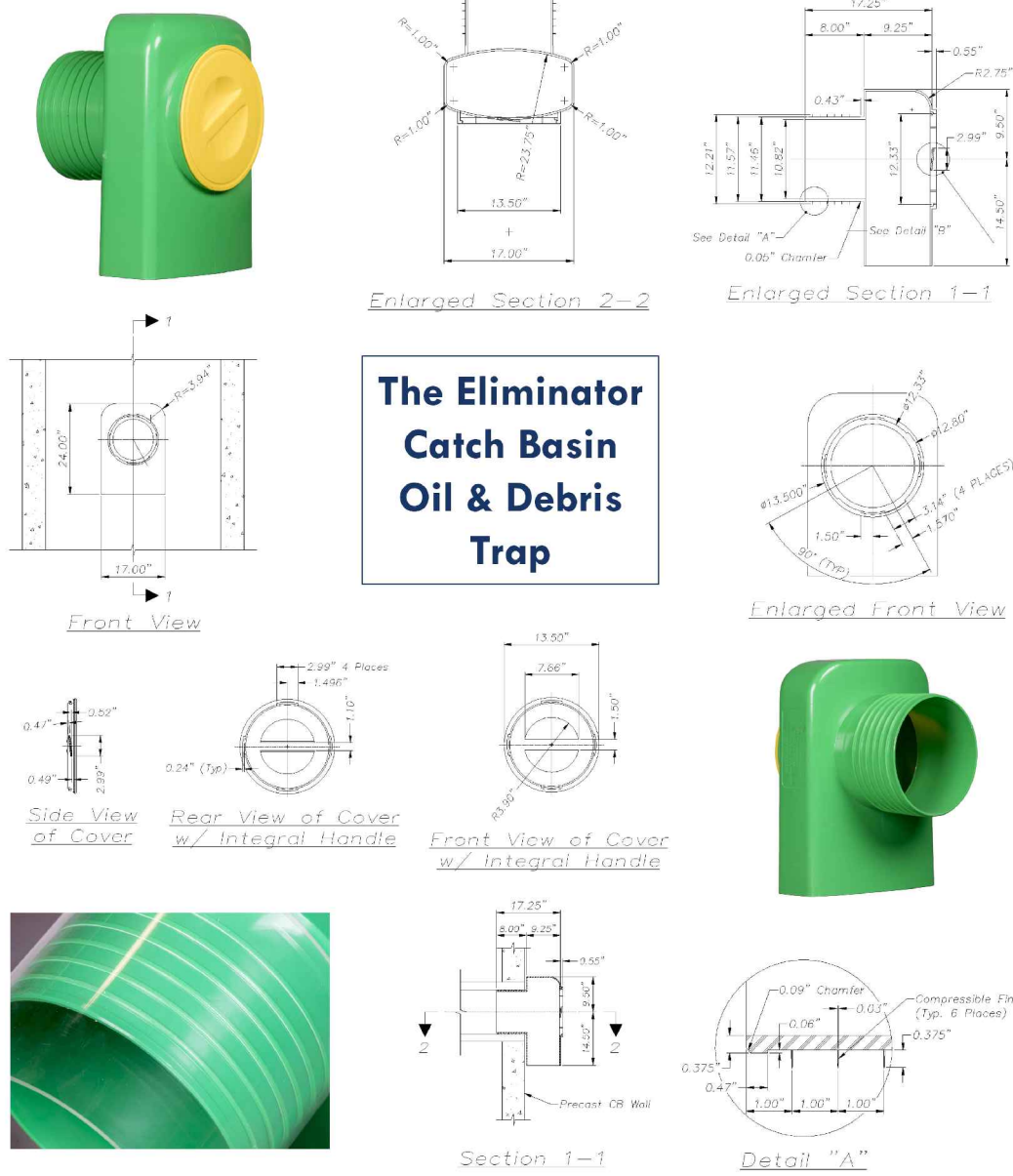
BANK RUN GRAVEL SPEC.:
GRAVEL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 3". UP TO 10% MAY BE SIZED BETWEEN 3/4" AND 3". GRAVEL SHALL MEET THE FOLLOWING:

SIEVE SIZE	% PASSING
3/4"	100%
#4	55%-100%
#10	40%-100%
#40	10%-50%
#100	0%-20%
#200	0%-2%

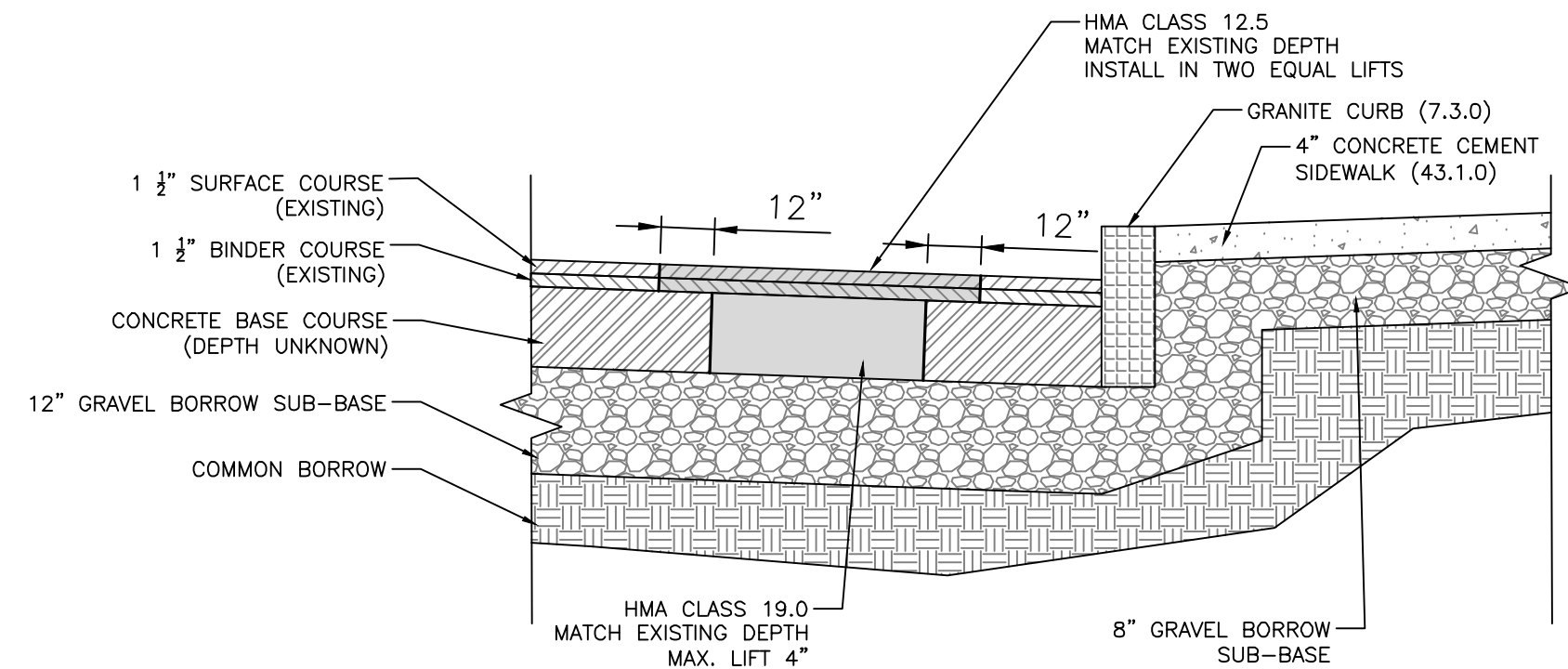
WASHED 2-INCH CRUSHED STONE:
100% PASS - 2"
0-50% PASS - 1"
0-15% PASS - NO.4

ASTM C-33 SAND SPECIFICATION:

SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
3/8"	100%	#30	25%-60%
#4	95%-100%	#50	5%-35%
#8	80%-100%	#100	0%-10%
#16	50%-85%	#200	0%-5%



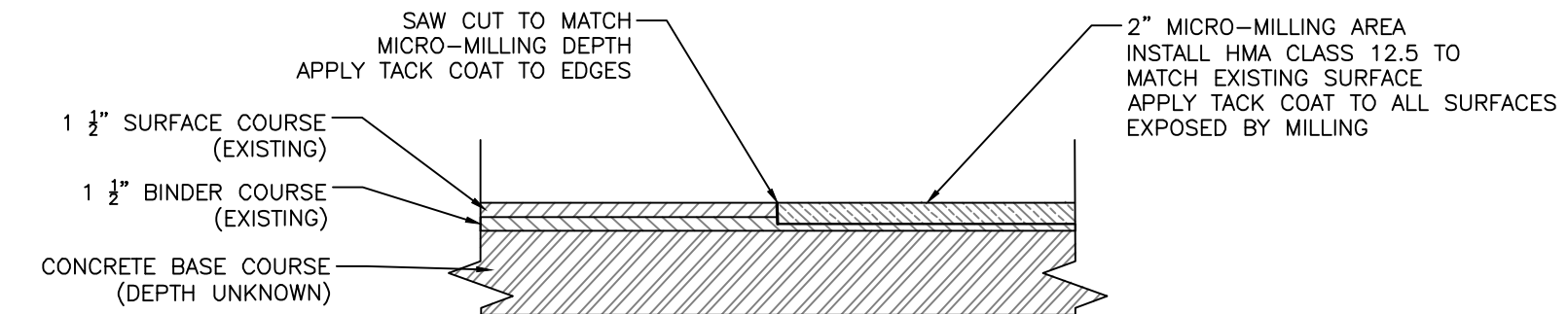
The Eliminator Catch Basin Oil & Debris Trap



ROADWAY SAWCUT AND MATCH DETAIL
NOT TO SCALE

ROADWAY RESTORATION NOTES:

1. RESTORATION SHALL MATCH EXISTING CONDITIONS ENCOUNTERED IN THE FIELD.
2. CONCRETE CEMENT BASE MAY BE REPLACED WITH HMA CLASS 19 OF EQUAL DEPTH.
3. SURFACE COURSE AND BINDER TO BE CUT BACK A MINIMUM OF 1-FOOT FROM CONCRETE BASE ON EACH SIDE.
4. TACK COAT SHALL BE APPLIED TO ALL EXISTING BITUMINOUS ASPHALT, INCLUDING EDGES, PRIOR TO PLACING PATCH MATERIALS.
5. RESTORATION SHOWN SHALL BE COMPLETED PRIOR TO MICRO MILLING OF WORK AREA.
6. PATCHING SHALL BE IN COMPLIANCE WITH SECTION 900-91 OF THE RIDOT STANDARD SPECIFICATIONS.



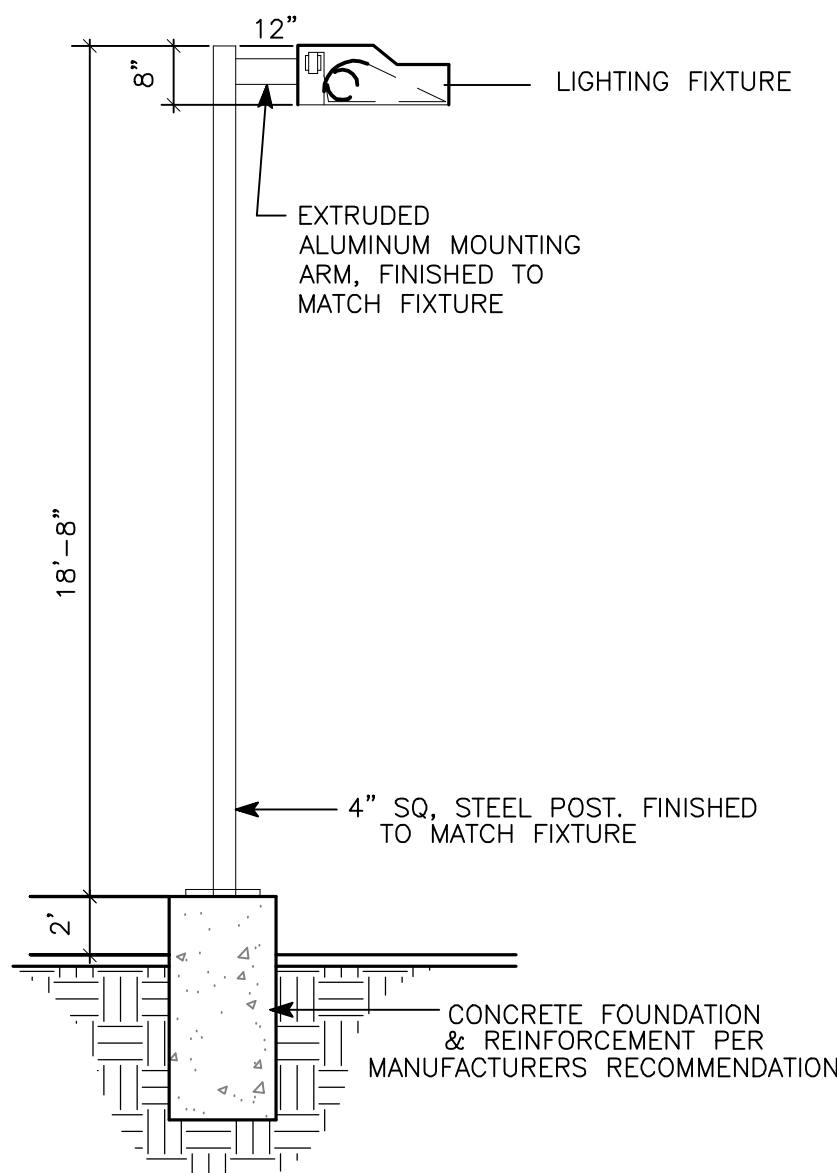
ROADWAY MILLING DETAIL
NOT TO SCALE

MICRO MILLING NOTES:

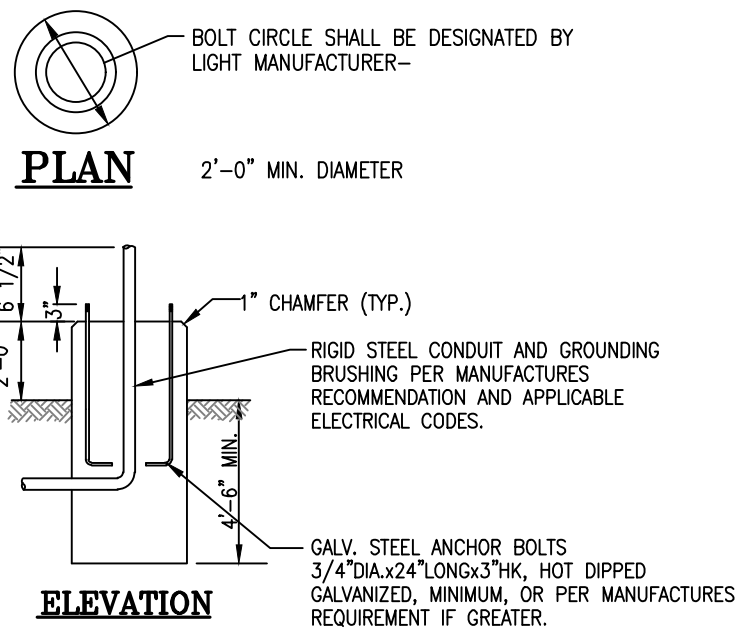
1. EXISTING DETAIL BASED ON PLANS OF RECORD, NO SOIL BORING AVAILABLE.
2. RESTORATION SHALL MATCH EXISTING CONDITIONS ENCOUNTERED IN THE FIELD.
3. AFTER ALL UTILITY INSTALLATION AND PATCHING IS COMPLETED A MINIMUM OF 2" OF BITUMINOUS ASPHALT SHALL BE REMOVED BY MICRO-MILLING.
4. SURFACE COURSE SHALL BE MODIFIED CLASS 12.5 HMA.
5. TACK COAT SHALL BE APPLIED TO ALL EXISTING BITUMINOUS ASPHALT SURFACES/EDGES PRIOR TO PLACING SURFACE COAT.
6. ASPHALT PAVEMENT INSTALLATION SHALL BE IN COMPLIANCE WITH SECTION 401 OF THE RIDOT STANDARD SPECIFICATIONS.
7. MICRO-MILLING SHALL BE IN COMPLIANCE WITH SECTION 900-91 OF THE RIDOT STANDARD SPECIFICATIONS.



Ground Water Rescue, Inc.
24 Ryden St., Quincy, MA 02169
Tel: 617-773-1128 Fax: 617-773-0510
www.kleanstream.com

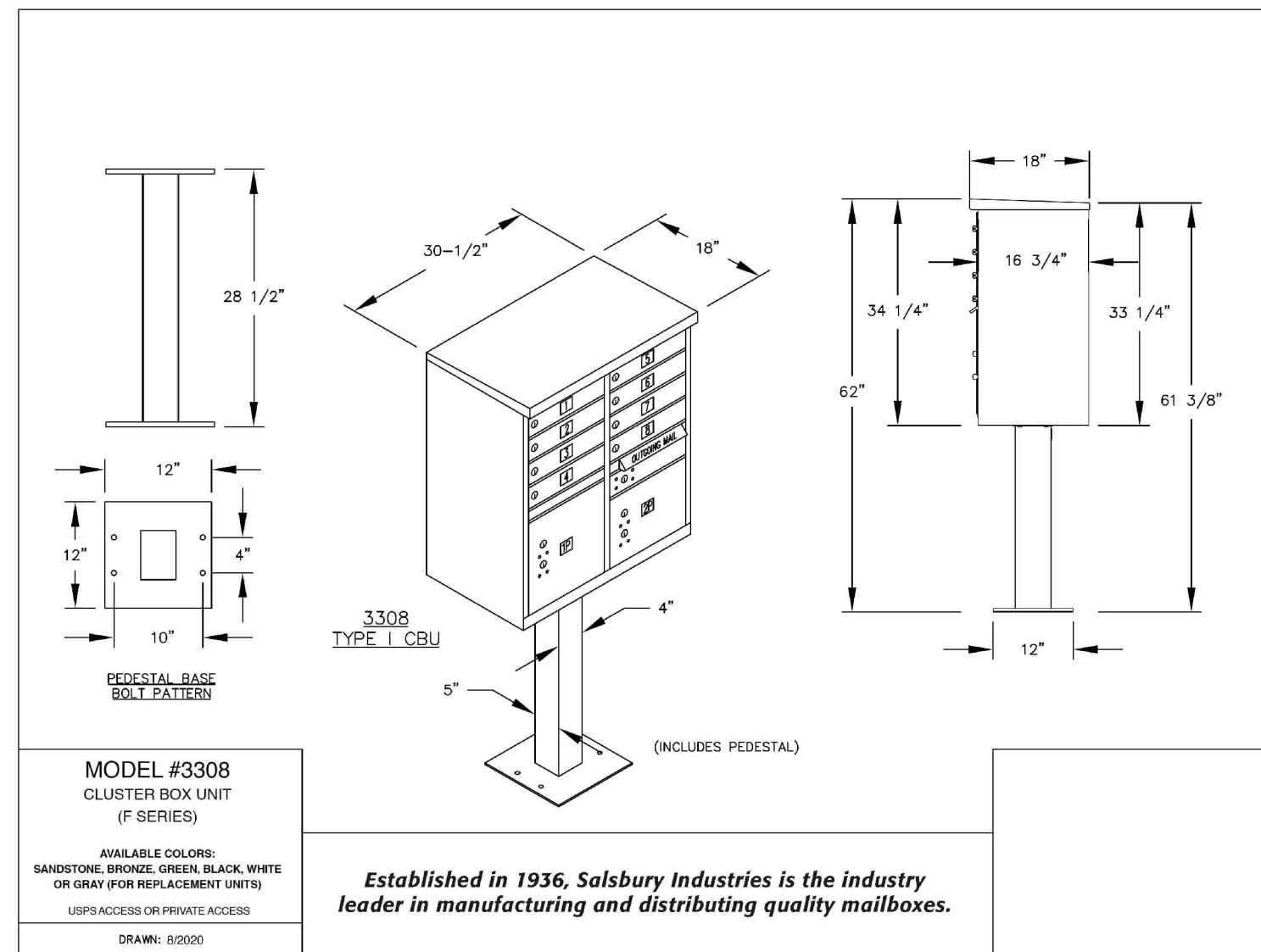


LIGHT STANDARD DETAIL
NOT TO SCALE

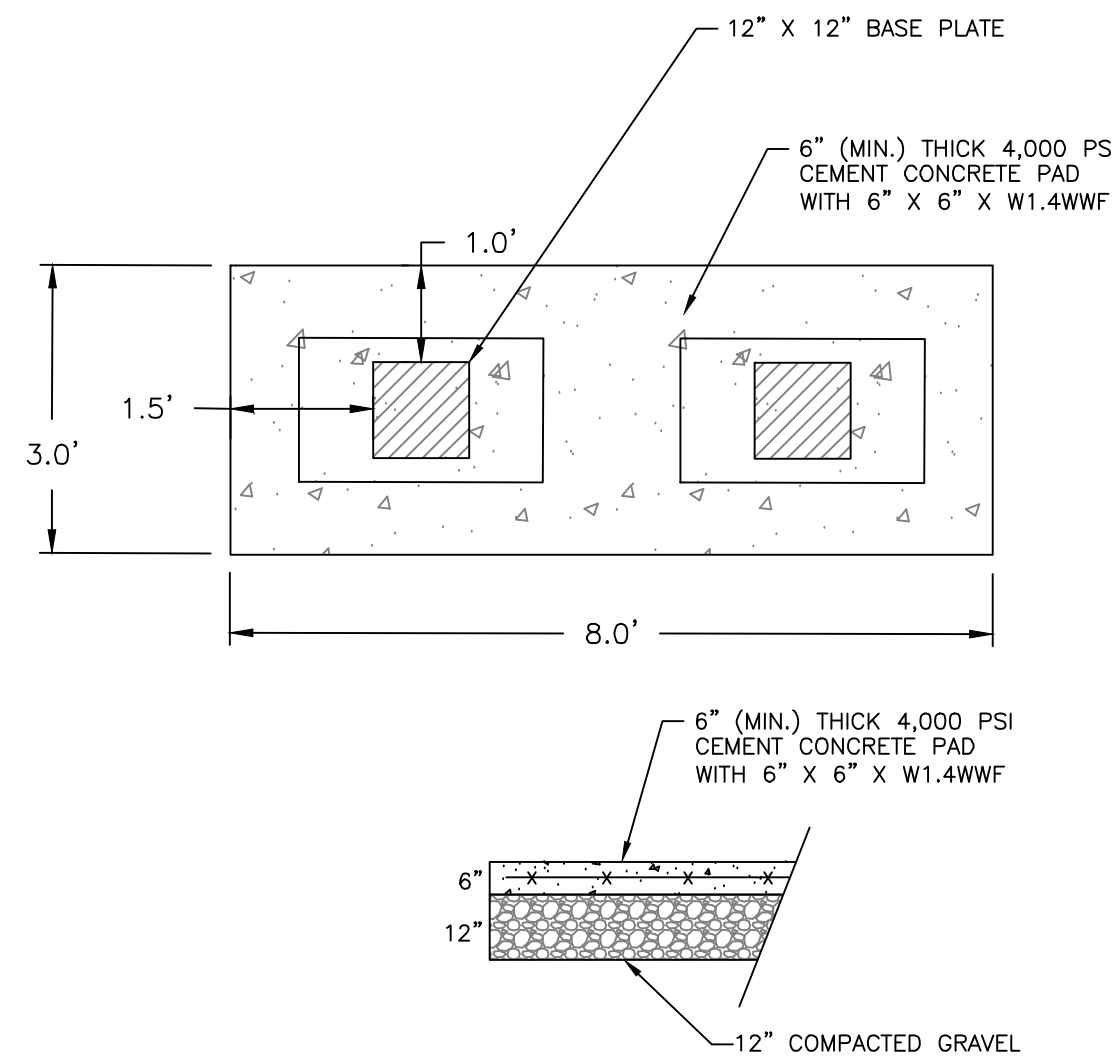


- NOTES:
1. CONCRETE FOUNDATION, PRECAST OR CAST-IN-PLACE (SONOTUBE)
 2. SHOP DRAWING SUBMITTAL REQUIRED FOR POLE AND FOUNDATION.
 3. FOUNDATION TO BE SIZED FOR POLE/LUMINAIRE SPECIFIED AND NORMAL STORM WIND AND ICE LOADS. SEE MANUFACTURER'S REQUIREMENTS FOR TOP OF FOUNDATION ELEVATION RELATIVE TO PROJECT FINISH GRADE AT LIGHT FIXTURE.
 4. CONCRETE, 4000 PSI, WITH REINFORCING AS REQUIRED BY DESIGN

LIGHT POLE FOUNDATION
NOT TO SCALE



COMMUNITY MAIL BOX DETAIL
(TWO REQUIRED)
NOT TO SCALE



- NOTES:
1. REINFORCING 2" CLEAR FROM EDGES.
 2. ANCHORS PER MANUFACTURER'S RECOMMENDATION.

OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401) 732-9300

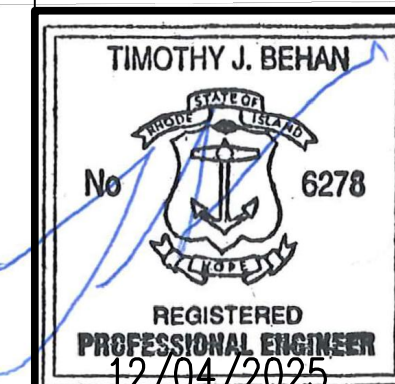
APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



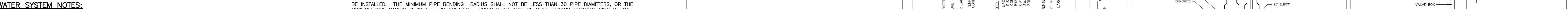
REVISIONS

No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
3	09-02-25	SMA	TJB
4	09-11-25	SMA	TJB
5	11-07-25	SMA	TJB
6	12-04-25	SMA	TJB



PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-2

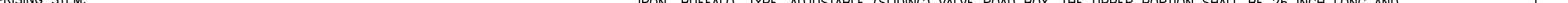
SCALE: AS SHOWN	SHEET NO: 14 OF 20
DRAWN BY: SMA	DESIGN BY: SMA
CHECKED BY: TJB	
DATE: MARCH 27, 2025	PROJECT NO.: 25024.00



- PRESSURE CLASS: PIPE FITTINGS SHALL HAVE A PRESSURE RATING OF 360 FOR
 24-INCH AND SMALLER AND 250 PSI FOR 30-INCH AND LARGER. FITTINGS SHALL AT A MINIMUM HAVE THE SAME
 PRESSURE RATING AS THE CONNECTING PIPE.
 PIPE: FORD OR EQUIV.
 BODY: DUCTILE IRON.
 COATING: DUCTILE IRON COMPONENTS SHALL BE EPOXY COATED AWWA C 500.
 2" TEST PORT WITH CAP IN TEE
- OWNER:
 STEPHEN T. JURCZYK

- RESILIENT SEAT GATE** 4 INCH TO 12 INCH:
TYPE: BURIED SURFACE NON-RIISING STEM.

13. VALVE ROAD BOXES ALL VALVES LOCATED IN ROADWAYS (EXCEPT SWING-CHECK) SHALL BE EQUIPPED WITH A CAST IRON "BUFFALO" TYPE ADJUSTABLE (SLIDING) WEDGE ROAD BOX. THE UPPER PORTION SHALL BE 26 INCH LONG AND 12 INCH HIGH. THE LOWER PORTION SHALL BE 12 INCH LONG AND 12 INCH HIGH. THE LOWER PORTION SHALL BE 12 INCH LONG AND 12 INCH HIGH. THE LOWER PORTION SHALL BE 12 INCH LONG AND 12 INCH HIGH.



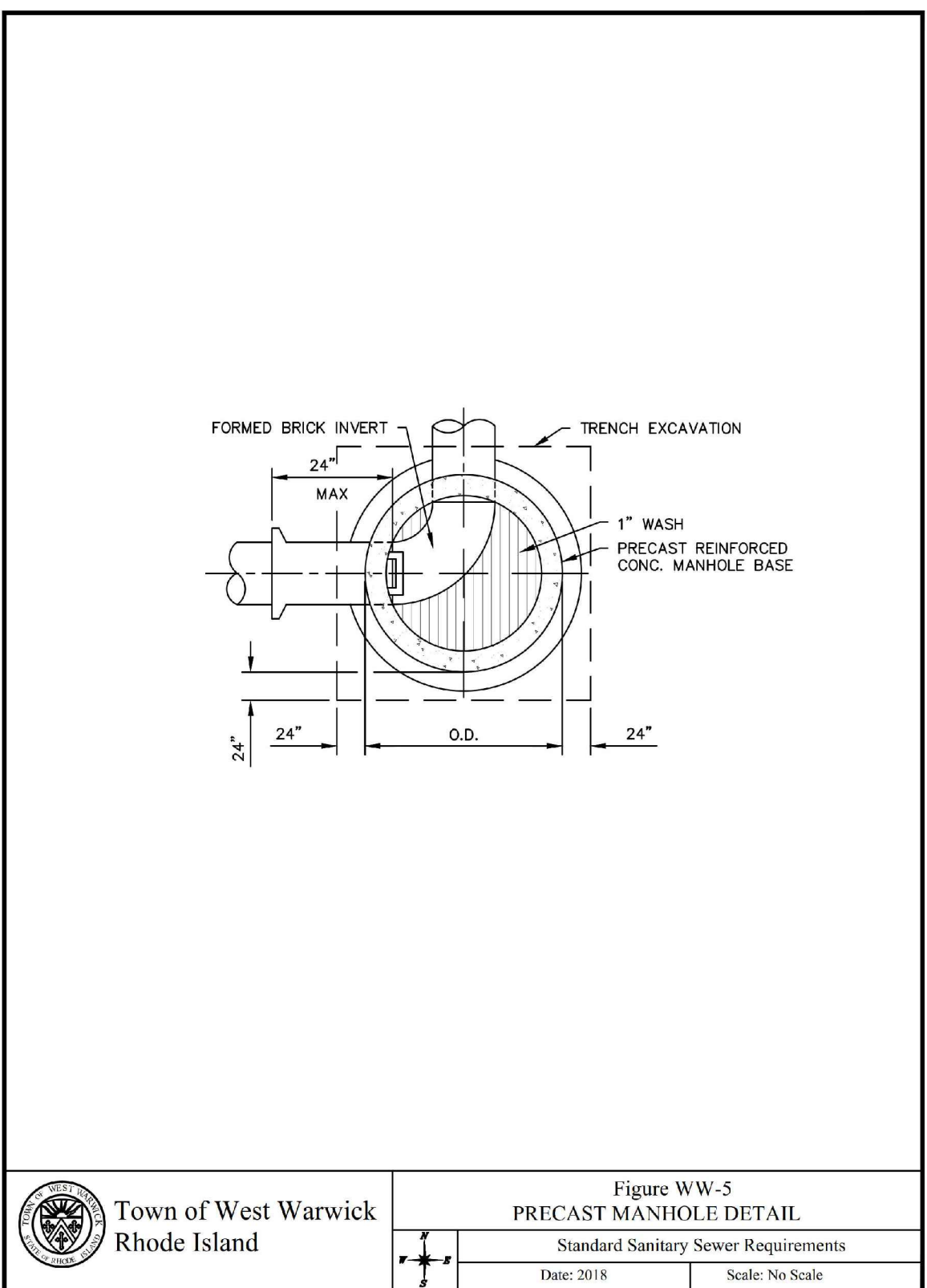
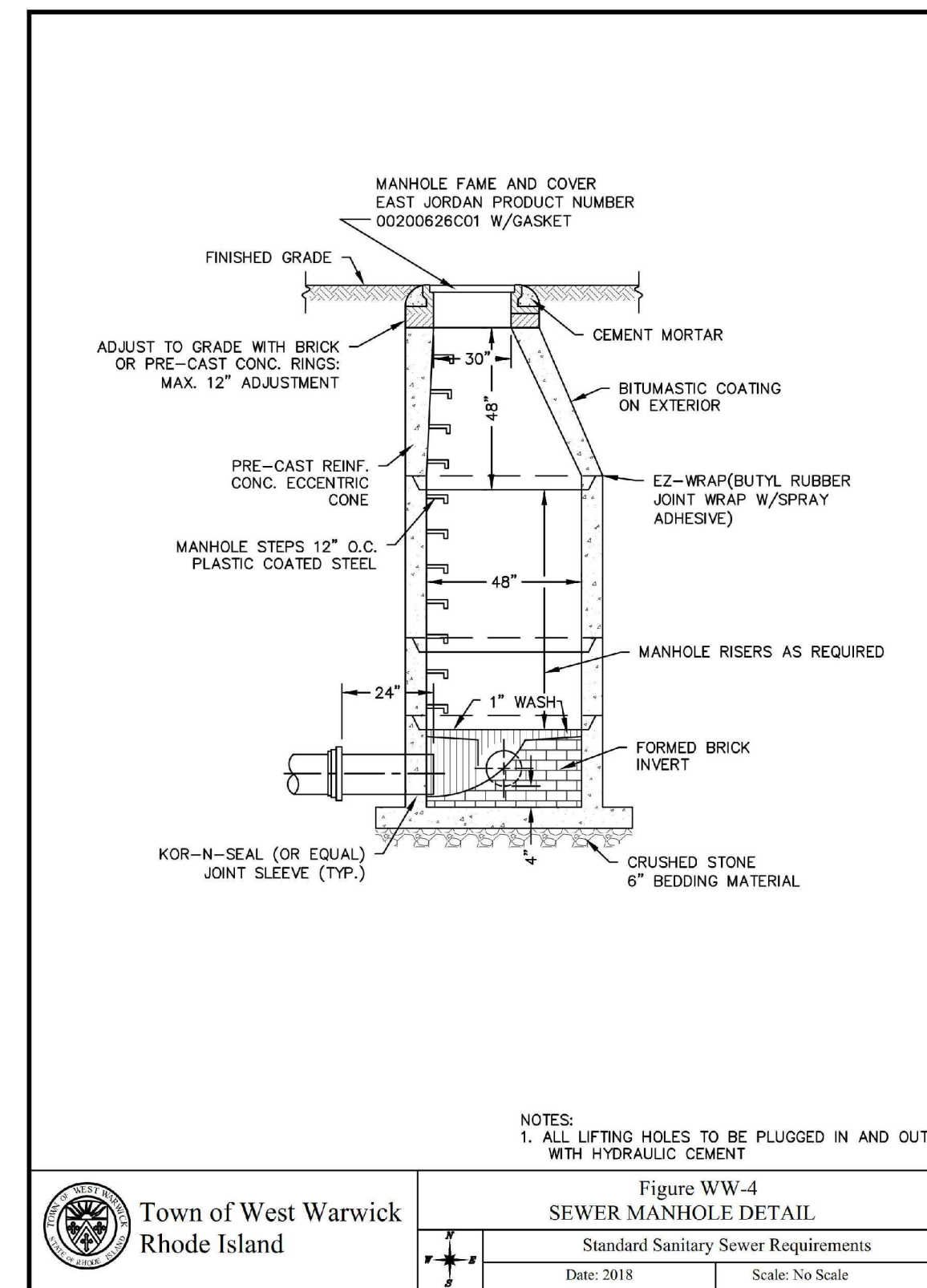
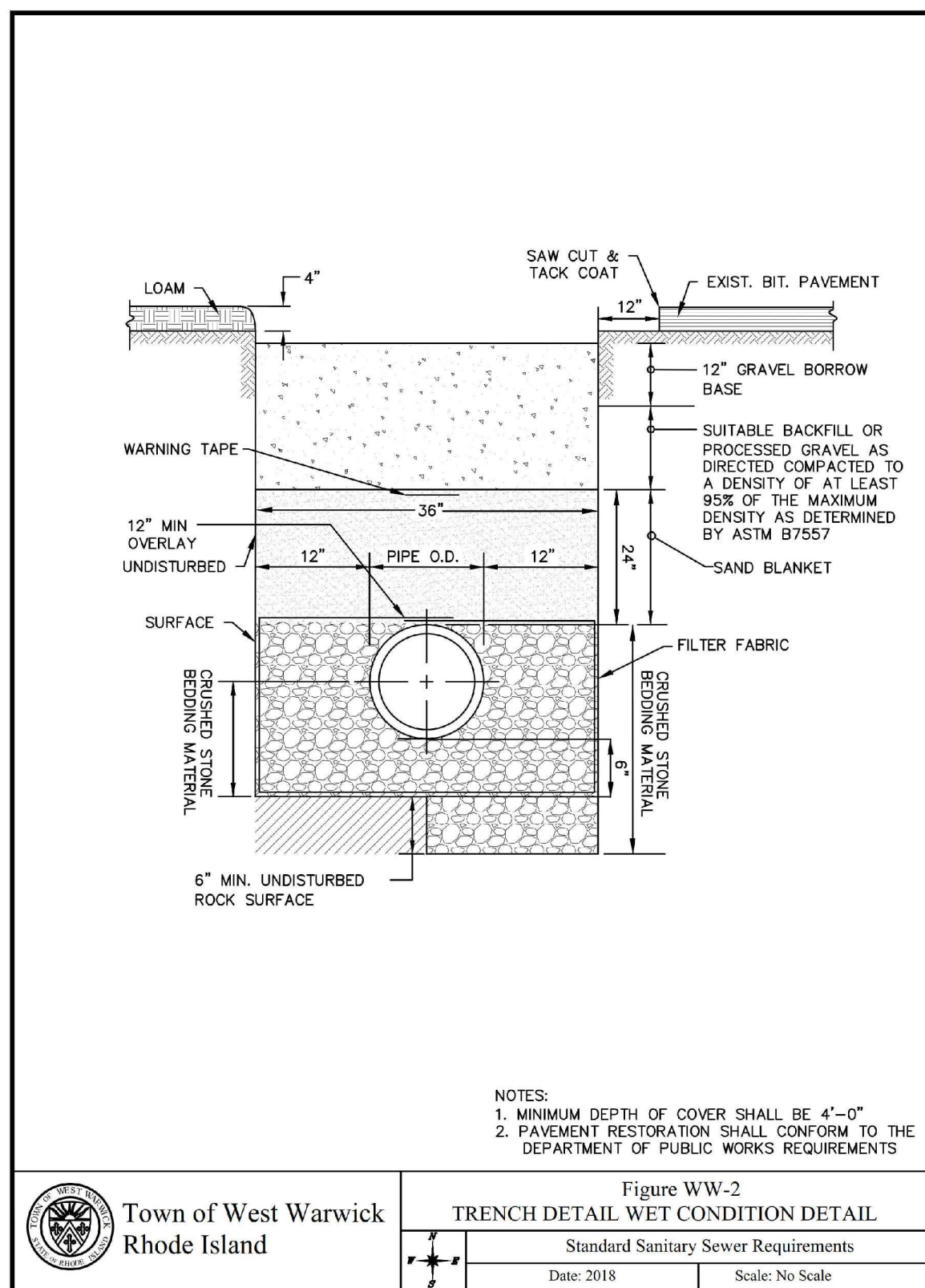
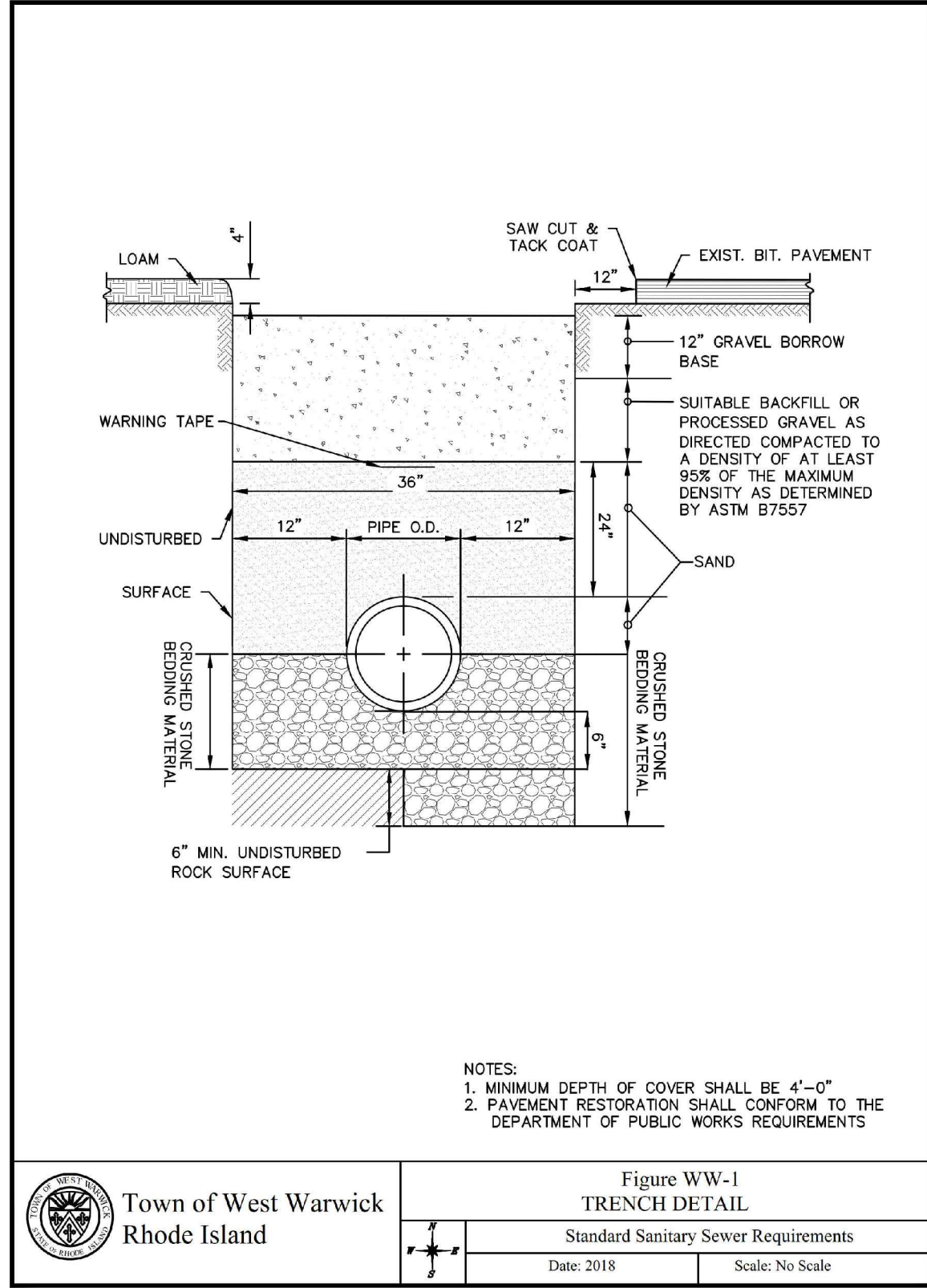
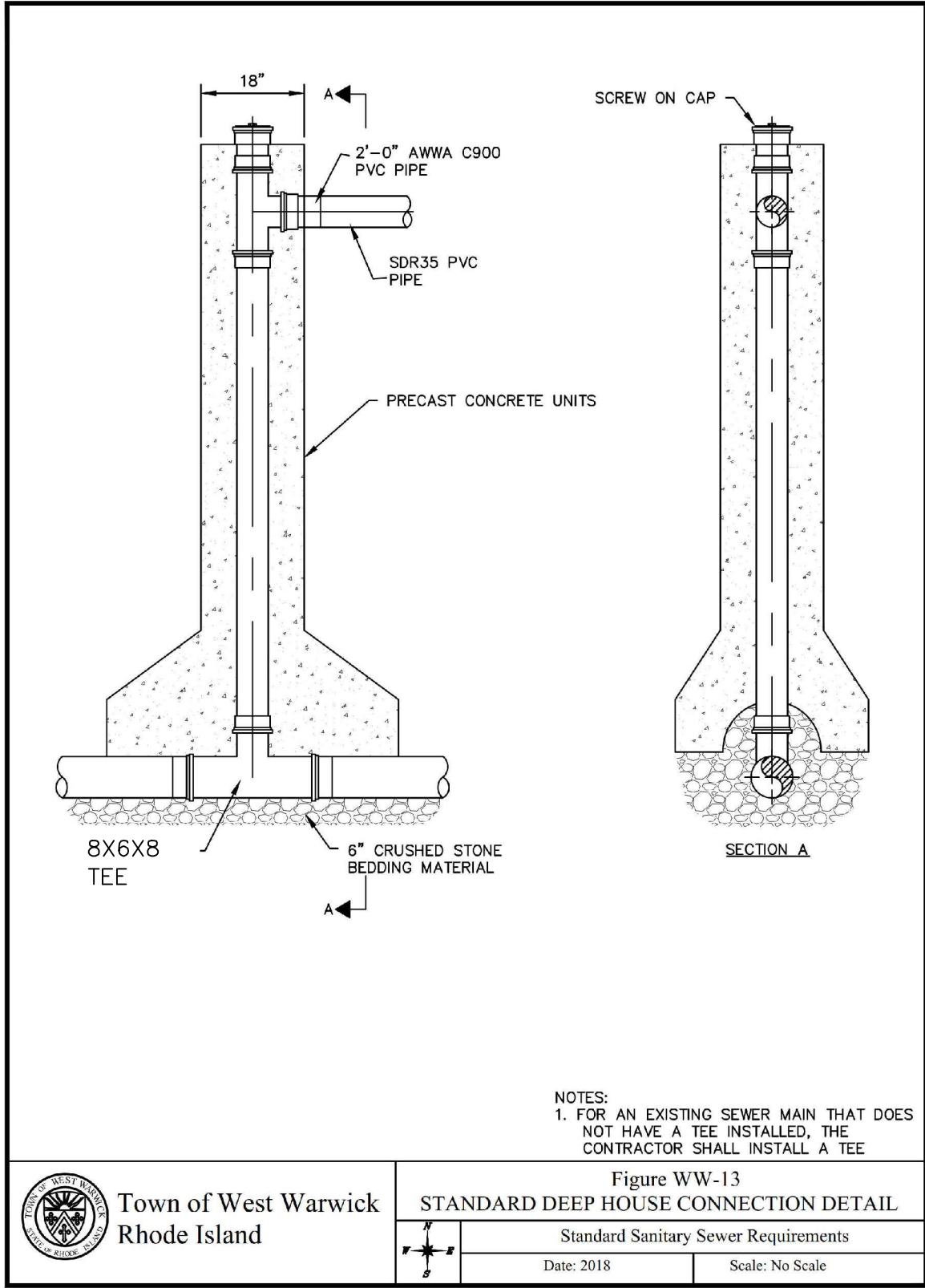
LEGAL COUNCIL:

<input checked="" type="checkbox"/>	PERMITTING
<input type="checkbox"/>	CONSTRUCTION

- TAPPING SLAVE & VALVE: VALVES SHALL BE FULL BODY AND FULL PORT TAPPING TYPE MEETING THE REQUIREMENTS PARAGRAPH 4.9.1.1. ABOVE. SLEEVES SHALL BE FULL PORT DUCTILE IRON OR GRADE 18-8 TYPE 304 STAINLESS STEEL. DUCTILE IRON SLEEVES SHALL BE OF THE SAME MANUFACTURER AS OF THE VALVE AND BITUMINOUS COATED. ALL SLEEVES SHALL BE MANUFACTURED TO MEET OR EXCEED THE DESIGN AND OPERATING CHARACTERISTICS OF ONE OF THE FOLLOWING DEVICES:
16. MINIMUM COVER OVER WATER PIPE IS 5 FEET.
17. PROVIDE WARNING TAPE OVER SERVICE AS SHOWN IN TRENCH DETAIL.
- CONSTRUCTED OVER 12" DEPTH OF COMPACTED BANK RUN GRAVEL
- 6278
- COMMONWEALTH ENGINEERS & CONSULTANTS, INC.

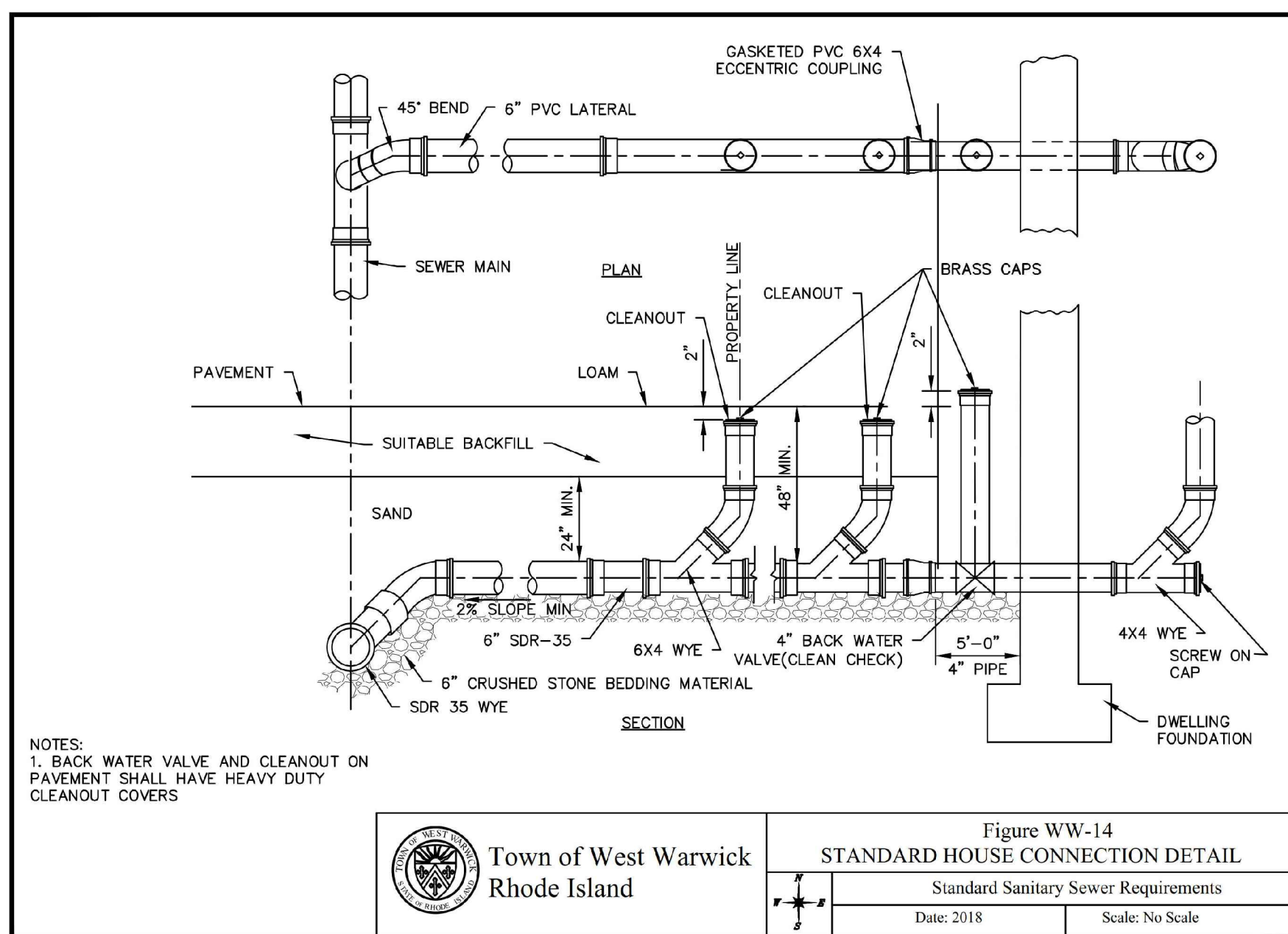
- MAXIMUM WORKING PRESSURE: 4-12 INCH: 250 PSI 16-24 INCH: 200 PSI
FASTENER: GRADE 18-8 TYPE 304 STAINLESS STEEL.
RCWA'S "CUSTOMER WATER SERVICE DISINFECTION POLICY" NOTE: MAXIMUM VELOCITY WHEN FILLING THE PE PIPE WITH WATER SHALL BE 1 FT/SEC (1 GPM/IN FOR 1" CTS PIPE)
- THRUST BLOCK (TYP.)
- (MEGALUG) BELOW GROUND (TYP.)
- 4" SERVICE
- REVISIONS
- PRELIMINARY PLAN APPLICATION

- CONFORM TO ONE OF THE FOLLOWING TYPES:
- A. HEAT FUSION JOINTS - JOINT SURFACES SHALL BE CLEANED FREE FROM MOISTURE, ALL JOINT SURFACES SHALL BE MANUFACTURED TO MEET OR EXCEED THE REQUIREMENTS OF ASTM F 1501, TYPE 1, AND BE RATED FOR A WORKING PRESSURE OF 200 PSI AND 200°F.
 - B. WELDING JOINTS - JOINT SURFACES SHALL BE CLEANED FREE FROM MOISTURE, ALL JOINT SURFACES SHALL BE MANUFACTURED TO MEET OR EXCEED THE REQUIREMENTS OF ASTM F 1501, TYPE 1, AND BE RATED FOR A WORKING PRESSURE OF 200 PSI AND 200°F.
 - C. MODIFIED BINDER AND TYPE 1-1 WEARING COURSE SHALL, AFTER 60 DAYS, THE TEMPORARY PATCH SHALL BE REMOVED AND REPLACED WITH A PERMANENT PATCH. ALL PERMANENT PATCHES SHALL BE SAW CUT.
 - D. 22. AN AS-BUILT PLAN IS REQUIRED. CONTRACTOR SHALL RETAIN THE SERVICES OF A RHODE ISLAND PROFESSIONAL ENGINEER TO PREPARE AND SEAL THE AS-BUILT PLAN.
 - E. 23. ENCLOSURE SHALL BE DESIGNED WITH 'FLIP TOPS' FOR EASY ACCESS AND MAINTENANCE.
 - F. 24. ENCLOSURE SHALL BE DESIGNED WITH 'BLOW OUT PANELS' TO ACCOMMODATE RPZ FLOW RATES OF 320 GPM.
 - G. 25. ENCLOSURE SHALL BE MANUFACTURED TO MEET OR EXCEED THE REQUIREMENTS OF ASTM F 1501, TYPE 1, AND BE RATED FOR A WORKING PRESSURE OF 200 PSI AND 200°F.
- SCALE: AS SHOWN SHEET NO: 15 OF 20



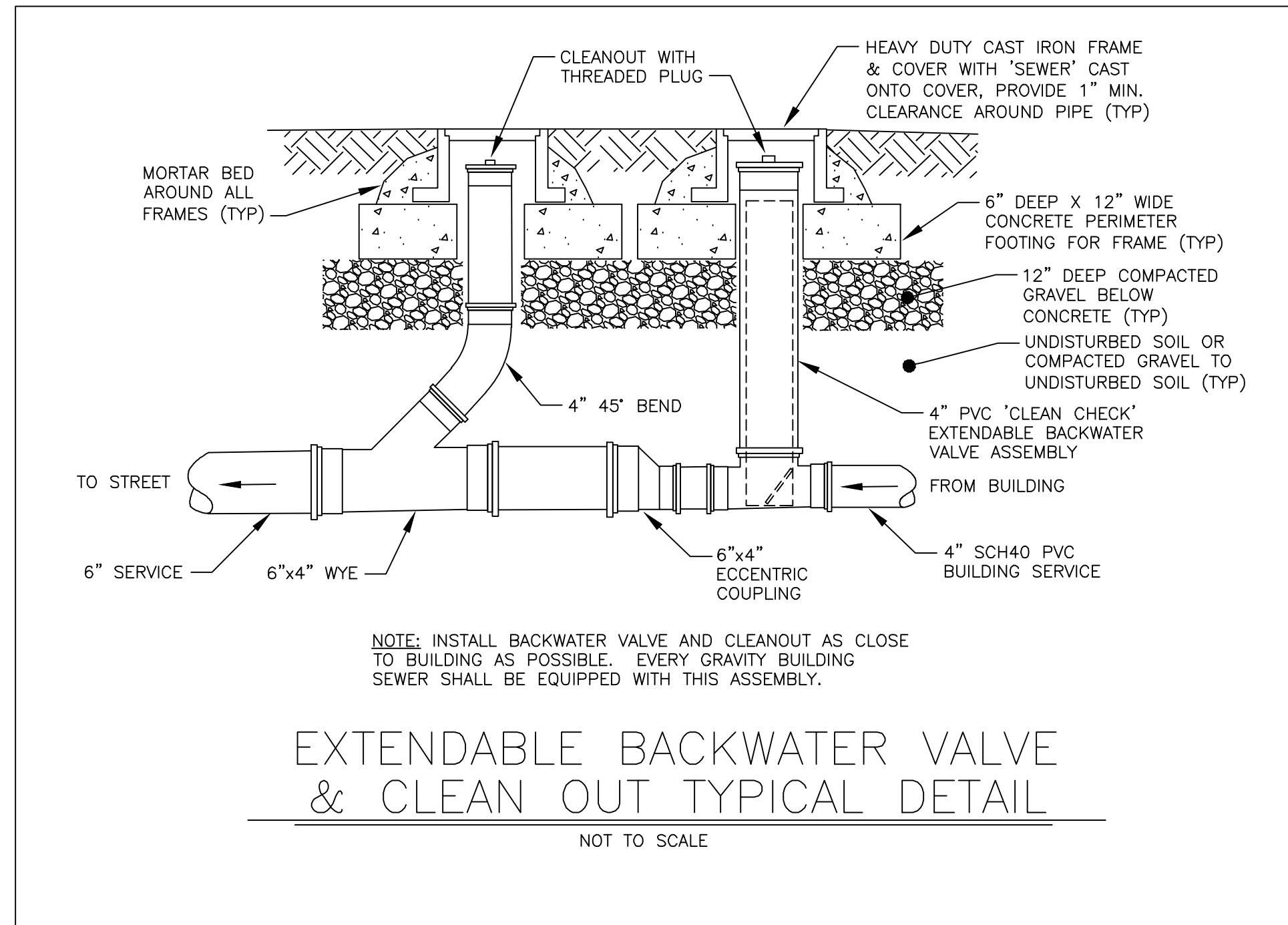
MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICLE TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 2003 (M.U.T.C.D.) INCLUDING ALL REVISIONS.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STATE RIGHT-OF-WAY.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.



SEWER NOTES:

- ALL CONSTRUCTION, MATERIALS, SPECIFICATIONS, AND PROCEDURES SHALL CONFORM WITH THE TOWN OF WEST WARWICK SEWER ORDINANCE AND THE "STANDARD SANITARY SEWER REQUIREMENTS OF THE TOWN OF WEST WARWICK" AND ALL APPLICABLE FEDERAL, STATE AND TOWN BUILDING AND PLUMBING CODES. ANY DEVIATIONS FROM THESE PRESCRIBED PROCEDURES AND MATERIALS SHALL BE APPROVED BY THE SUPERINTENDENT BEFORE INSTALLATION. THE CONTRACTOR SHALL REVIEW SAID STANDARD PRIOR TO ANY WORK. THE SEWER AUTHORITY'S STANDARDS SUPERSEDE THESE DESIGN PLANS WHERE CONFLICTS EXIST.
- PROTECTION OF WATER LINES:
 - HORIZONTAL SEPARATION: SEWERS SHALL BE LAID AT A MINIMUM OF AT LEAST 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN OR SERVICE.
 - VERTICAL SEPARATION: WHENEVER SEWERS CROSS UNDER WATER MAINS, OR SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. SEWERS SHALL ALWAYS CROSS UNDER THE WATER MAIN OR SERVICE.
- PIPE SHALL BE LAID IN THE DRY AND AT NO TIME SHALL WATER IN THE TRENCH BE PERMITTED TO FLOW INTO THE SEWER.
- BACKFILL FROM THE CENTERLINE OF THE PIPE TO A HEIGHT OF TWO FEET ABOVE THE PIPE SHALL BE SAND BLANKET MATERIAL PLACED EVENLY FOR THE FULL WIDTH OF THE TRENCH AND COMPACTED IN 12-INCH LAYERS. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED EVENLY WITH SUITABLE (EXCAVATED OR BORROW) BACKFILL MATERIAL AND COMPACTED IN 12-INCH LAYERS. CUSHION AND BACKFILL MATERIAL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY BY TAMPING AND COMPACTING IN LAYERS (ONE (1) FOOT MAXIMUM) TO ACHIEVE THE REQUIRED COMPACTION.
- THE CONTRACTOR SHALL SUBMIT TO THE TOWN OF WEST WARWICK AN AS-BUILT DRAWING OF THE ENTIRE SEWER SYSTEM AFTER COMPLETION OF THE SERVICE CONNECTIONS UTILIZING DISTANCES FROM PERMANENT STRUCTURES. THE DEPTH OF THE SEWER MAIN AT THE PROPERTY LINE AND AT THE DWELLING UNIT SHALL BE RECORDED AS WELL AS TIES TO ALL CLEANOUTS AND BENDS.
- ALL GRAVITY PIPE AND FITTINGS SHALL BE PVC SDR35 MEETING ASTM D3034 UNLESS NOTED OTHERWISE.
- ALL BUILDING SEWER CONNECTION INSTALLATIONS SHALL BE GAS AND WATER TIGHT AND VERIFIED BY PROPER TESTING. TEST MUST BE WITNESSED BY THE TOWN OF WEST WARWICK PUBLIC WORKS SUPERINTENDENT.
- BACKFLOW PREVENTER: ALL CONNECTIONS ARE TO BE EQUIPPED WITH A BACKFLOW PREVENTER. BACKFLOW PREVENTERS MUST CONFORM WITH THE TOWN OF WEST WARWICK BUILDING INSPECTOR'S REQUIREMENTS AND THE BUILDING OFFICIALS' CODE ADMINISTRATORS BASIC NATIONAL PLUMBING CODE, ARTICLE 10, SECTION P-1003.0.
- INSPECTION: ALL SEWER LINE CONSTRUCTION SHALL BE INSPECTED BY THE TOWN OF WEST WARWICK SEWER AUTHORITY PRIOR TO BACKFILLING.
- TESTING: THE CONTRACTOR WILL BE REQUIRED TO PERFORM THE PIPE DEFLECTION TEST ON EACH SECTION OF PIPE INSTALLED. ALL TESTING SHALL BE WITNESSED BY THE TOWN OF WEST WARWICK PUBLIC WORKS SUPERINTENDENT OR THE SEWER AUTHORITY. NO SEWER FLOWS ARE ALLOWED UNTIL AUTHORIZED BY THE TOWN OF WEST WARWICK SEWER AUTHORITY.
- MAINTENANCE OF SEWAGE FLOWS: THE CONTRACTOR SHALL MAINTAIN SEWAGE FLOWS ON SUBJECT SITE UNTIL ALL WORK HAS BEEN ACCEPTED BY THE SEWER AUTHORITY. SEWAGE DISCHARGES OR OVERFLOWS ARE STRICTLY PROHIBITED.



TRELLEBORG SEALS & PROFILES

Kor-N-Seal® I

106/406 Series
Pipe-to-Manhole
Connector

KEY FEATURES & BENEFITS

- Most widely used flexible connector in sanitary sewer applications throughout the world
- Easy-to-Install
- Meets the specifications of ASTM C923

PATENT

Patented Waveband technology creates a more effective seal by concentrating the compressive force of the expansion band. The rubber is "captured" between the band and the concrete. **Covered under U.S. Patent No. 5,738,359**

RECOMMENDED TORQUE VALUES

Connectors with 8" hole size and smaller:
Steel Wedge - 1/2" Socket Wrench - 8 ft. lbs.
Connectors with 10-20" hole sizes:
Ex Series - 1/2" Socket Wrench - 12 ft. lbs.
Steel Wedge - 1/2" Socket Wrench - 12 ft. lbs.
Preset torque limiters are available. Contact Customer Service at 1-800-626-2180 for more information.

FOR LARGER PIPE SIZES REFER TO KOR-N-SEAL II SERIES CONNECTORS

206 Series - For pipe sizes 15" - 51" in diameter.
Larger sizes available - contact Customer Service.
306 Series - To fit larger pipe into smaller diameter manholes.
506 Series - Designed specifically for stormwater applications

USING CORRUGATED PIPE

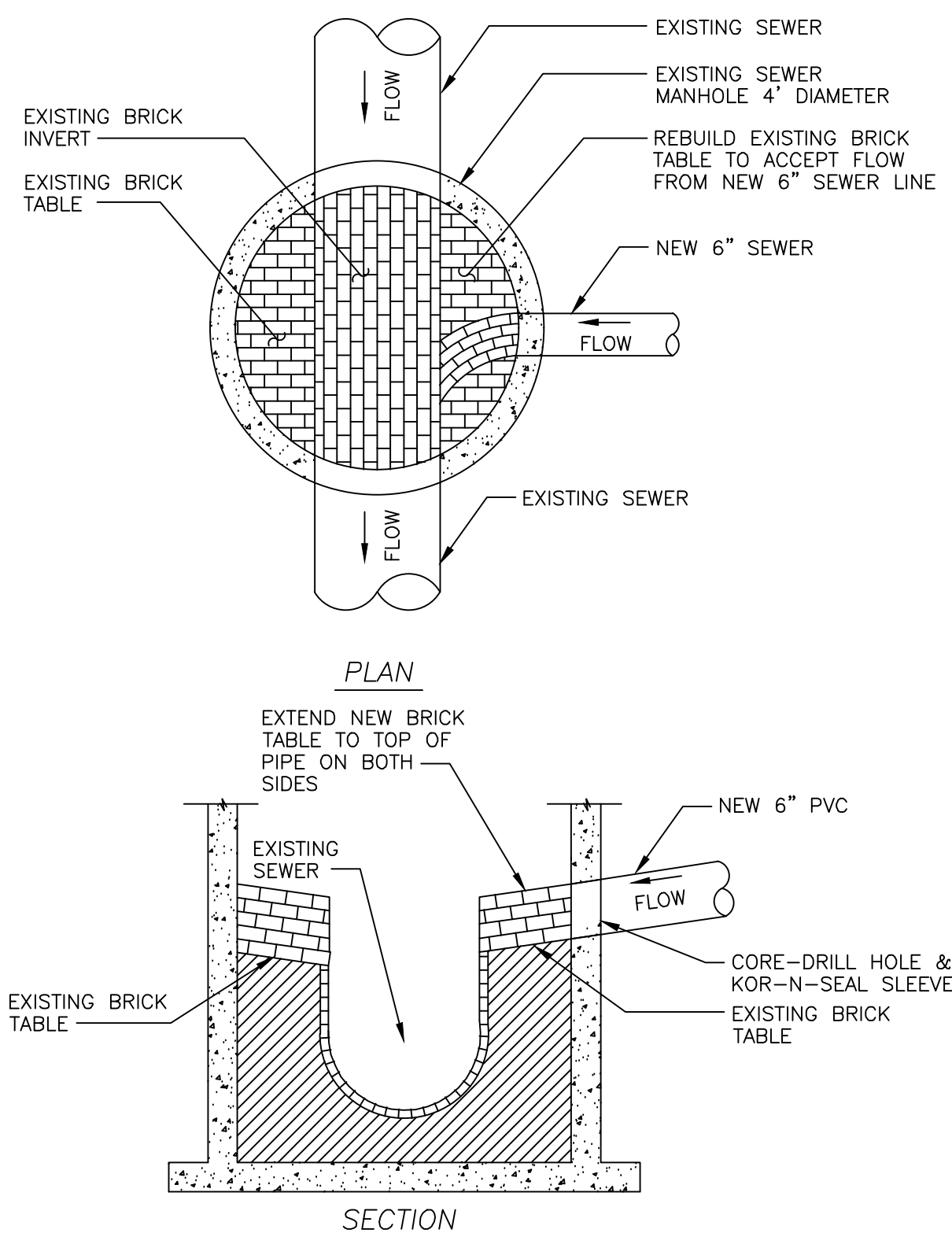
Adapters are required when using Corrugated Pipe. Refer to the Corrugated Pipe Adapter Data Sheet for details.

SEWER TRENCH MATERIAL SPECIFICATION:

- BEDDING MATERIAL:** THE BEDDING MATERIAL SHALL BE CRUSHED STONE CONSISTING OF DURABLE CRUSHED ROCK IN DURABLE CRUSHED GRAVEL STONE, FREE FROM ICE, SNOW, SAND, CLAY, LOAM, OR OTHER DELETERIOUS MATERIAL. THE CRUSHED STONE SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

PASSING 1-INCH SIEVE	100%
PASSING 3/4-INCH SIEVE	90-100%
PASSING 1/2-INCH SIEVE	20-25%
PASSING 3/8-INCH SIEVE	0-20%
PASSING NO. 4 SIEVE	0-5%
- SAND-BLANKET:** THE SAND SHALL BE FREE FROM ICE, SNOW, ROOTS, RUBBISH, AND OTHER DELETERIOUS OR ORGANIC MATTER. THE SAND BLANKET SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

PASSING 1/4-INCH SIEVE	100%
PASSING NO. 20 SIEVE	30-60%
PASSING NO. 50 SIEVE	7-30%
PASSING NO. 100 SIEVE	3-8%
- BACKFILL:** BACKFILL SHALL BE EXCAVATED MATERIALS FREE-DRAINING CLEAN GRANULAR SOIL SUITABLE FOR BACKFILL. UP TO 20 PERCENT OF BACKFILL MATERIAL MAY BE ROCK-LIKE MATERIALS NOT TO EXCEED 0.05 CUBIC FEET IN VOLUME, NOR MORE THAN 3 INCHES IN LENGTH. THE BACKFILL SHALL NOT CONTAIN ANY DEBRIS, PAVEMENT, FROZEN MATERIAL, ORGANIC MATTER, OR PEAT.



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APPLICANT:
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PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

REVISIONS				
No.	DATE	DRWN	SMA	CHKD
1	07-29-25	SMA	TJB	
2	07-31-25	SMA	TJB	
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5	11-07-25	SMA	TJB	
6	12-04-25	SMA	TJB	

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT FOR SIENA CONDOMINIUMS A.P. 45 LOTS 10, 11, 12 & 13 MAIN STREET COVENTRY, RHODE ISLAND CONSTRUCTION DETAILS-4

SCALE: AS SHOWN		SHEET NO: 16 OF 20	
DRAWN BY: SMA		DESIGN BY: SMA	
		CHECKED BY: TJB	
DATE: MARCH 27, 2025		PROJECT NO.: 25024.00	

DRAINAGE SYSTEM—INSPECTION, MAINTENANCE & REPAIR:

1. SUBJECT PROPERTY OWNER SHALL MAINTAIN THE PROPOSED DRAINAGE SYSTEM COMPONENTS. A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND A MAINTENANCE COMPANY TRAINED AND EXPERIENCED WITH THE MAINTENANCE REQUIREMENTS DETAILED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL", LATEST EDITION KNOWN AS THE "MANUAL".
2. INSPECTIONS ARE ESSENTIAL FOR THE LONGEVITY OF THE DRAINAGE SYSTEMS. THE DRAINAGE SYSTEM SHOULD BE INSPECTED IN ACCORDANCE WITH THE "MANUAL" BY THE MAINTENANCE COMPANY. RECORDS OF INSPECTIONS SHALL BE MAINTAINED BY THE OWNER AND MAINTENANCE COMPANY. IN NO CASE SHALL LESS THAN TWO INSPECTIONS OCCUR EACH CALENDAR YEAR, TYPICALLY SPRING AND FALL. THE ENTIRE SYSTEM SHALL ALSO BE INSPECTED AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.7 INCHES OF RAIN).
3. INSPECTIONS SHALL BE IN ACCORDANCE WITH THE "MANUAL". A SUMMARY OF THE REQUIREMENTS ARE DESCRIBED BELOW THE MAJORITY OF WHICH IS TAKEN DIRECTLY FROM THE "MANUAL". THE INSPECTOR SHALL REFER TO THE "MANUAL" FOR ADDITIONAL INSIGHT ON INSPECTION METHODS AND REQUIREMENTS. ALL CHECKLISTS IN THE MANUAL SHALL BE FILLED OUT BY THE INSPECTOR. ALL DEFICIENCIES DISCOVERED SHALL BE BROUGHT TO THE OWNER'S ATTENTION IN WRITING.

DRAIN MANHOLES & CATCH BASINS:

- A. REMOVE TRASH AND LITTER.
- B. REPAIR ALL STRUCTURAL DEFECTS IMMEDIATELY.
- C. REMOVE ALL ACCUMULATED SEDIMENT AND DISPOSED OFF-SITE IN ACCORDANCE WITH STATE & FEDERAL REGULATIONS.

PIPES:

- A. ALL CLOGGED OR SEDIMENT FILLED PIPES WHICH ARE MORE THAN 10% SEDIMENT FILLED SHALL BE CLEANED OUT IMMEDIATELY. WHEN CLEANING OUT PIPES, ENSURE DOWNSTREAM AREAS ARE PROTECTED FROM SEDIMENT DISCHARGES. DISPOSE OFF-SITE IN ACCORDANCE WITH STATE & FEDERAL REGULATIONS.
- B. REMOVE TRASH AND LITTER.

INFILTRATION UNITS

- THE FOLLOWING GUIDELINES SHALL BE ADHERED TO FOR THE OPERATION AND MAINTENANCE OF THE CULTEC STORMWATER MANAGEMENT SYSTEM.
- A. THE OWNER SHALL KEEP A MAINTENANCE LOG WHICH SHALL INCLUDE DETAILS OF ANY EVENTS THAT HAVE AN EFFECT ON THE SYSTEM'S OPERATIONAL CAPACITY.
- B. THE OPERATION AND MAINTENANCE PROCEDURE SHALL BE REVIEWED PERIODICALLY AND CHANGED TO MEET SITE CONDITIONS.
- C. MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE PERFORMED BY QUALIFIED WORKERS AND SHALL FOLLOW APPLICABLE OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS.
- D. DEBRIS REMOVED FROM THE STORMWATER MANAGEMENT SYSTEM SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.

SUGGESTED MAINTENANCE SCHEDULES

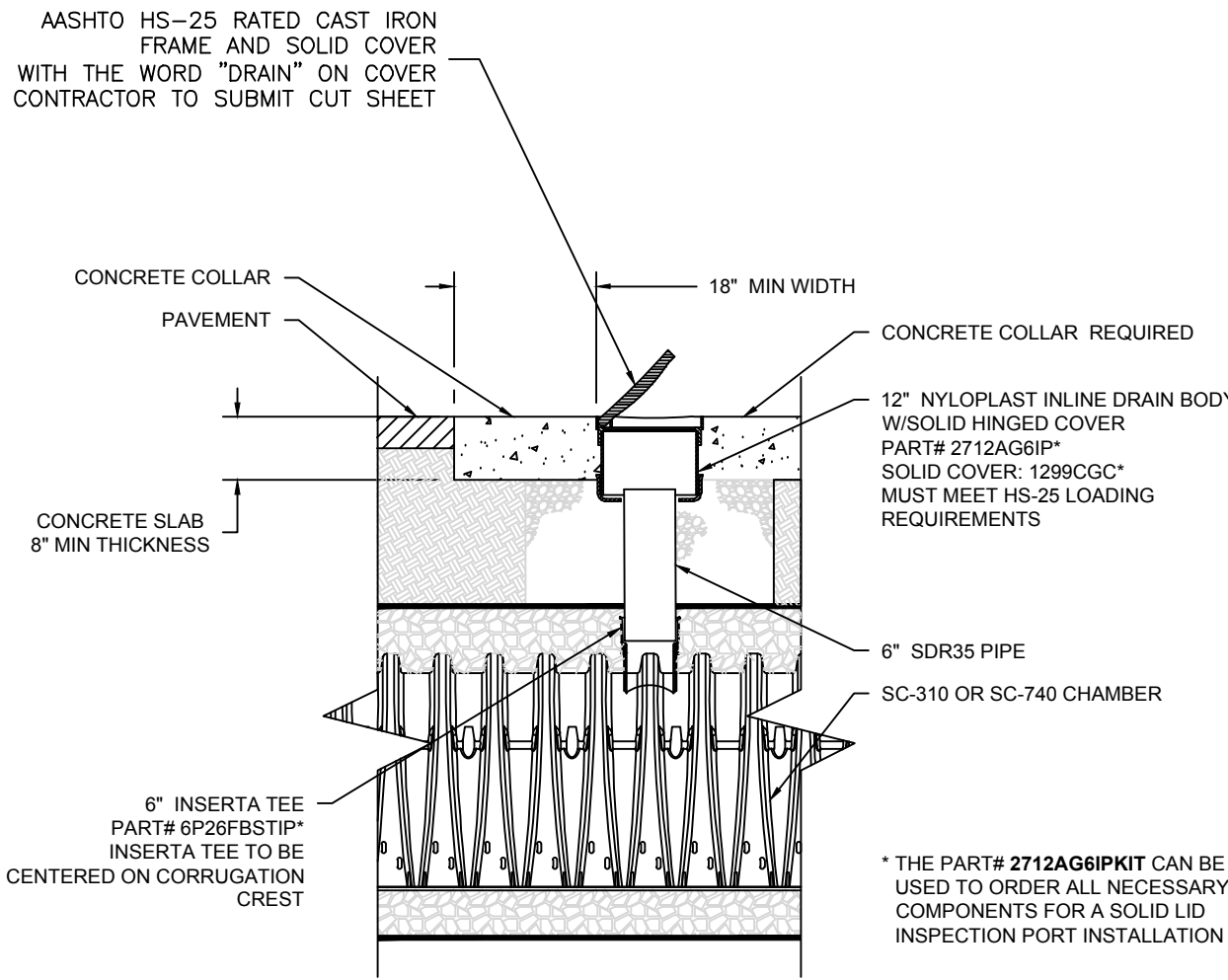
- A. MONTHLY IN FIRST YEAR: CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS, AS REQUIRED.
- B. SPRING AND FALL: CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS, AS REQUIRED.
- C. ONE YEAR AFTER COMMISSIONING AND EVERY THIRD YEAR FOLLOWING: CHECK INLETS AND OUTLETS FOR CLOGGING AND REMOVE ANY DEBRIS, AS REQUIRED.

ISOLATOR INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
- B.2. 3) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- i) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACK FLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



SC-310 & SC-740 6" INSPECTION PORT DETAIL
NOT TO SCALE

SC-310 & SC-740 STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH SC-310 & SC-740.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
- TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
- THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310 & SC-740 SYSTEM

1. STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
- STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A **WASHED, CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm)**.
8. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
9. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

1. STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC310 & SC-740 CHAMBERS IS LIMITED:
- NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

DRAINAGE NOTES:

1. SOME STRUCTURES MAY REQUIRE SHALLOW FRAMES (4-INCH HEIGHT).
2. SHALLOW FRAMES TO BE MECHANICALLY FASTENED (BOLTED) TO STRUCTURES.
3. MOST STRUCTURES REQUIRE FLAT TOPS.
4. ALL CATCH BASINS SHALL HAVE 3-FOOT SUMPS MEASURED BELOW LOWEST INVERT.
5. SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR ALL DRAINAGE COMPONENTS.
6. ENGINEER SHALL INSPECT THE BOTTOM OF EACH INFILTRATION AREA PRIOR TO PLACEMENT OF CRUSHED STONE.
7. ENGINEER SHALL BE NOTIFIED A MIN. OF 24 HOURS BEFORE CONSTRUCTING ANY INFILTRATION SYSTEM OR UNDERGROUND LINED SAND FILTERS.
8. ALL FILL AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM BENEATH ALL INFILTRATION SYSTEMS.
9. ANY BACKFILL PLACED BELOW INFILTRATION SYSTEMS SHALL BE ASTM C-33 SAND.
10. SCARIFY BOTTOM PRIOR TO PLACEMENT OF STONE OR ASTM C-33 SAND.
11. DO NOT ALLOW SEDIMENT LADEN RUNOFF TO ENTER SYSTEM.
12. INSTALL FABRIC DROP OR SILT SACK IN EACH NEW CATCH BASIN AS FRAME AND GRATE IS INSTALLED.

RECOMMENDED MINIMUM TRENCH WIDTH	
PIPE DIAMETER IN. (MM)	TRENCH WIDTH IN. (M)
4 - 8 (100-200)	*
10 (250)	24 (0.6)
12 (300)	28 (0.7)
15 (375)	35 (0.9)
18 (450)	43 (1.1)
24 (600)	56 (1.4)
30 (750)	60 (1.5)
36 (900)	65 (1.7)
42 (1050)	84 (2.1)
48 (1200)	91 (2.3)
54 (1350)	97 (2.5)
60 (1500)	103 (2.6)

* USUALLY BASED ON SMALLEST BUCKET SIZE AVAILABLE

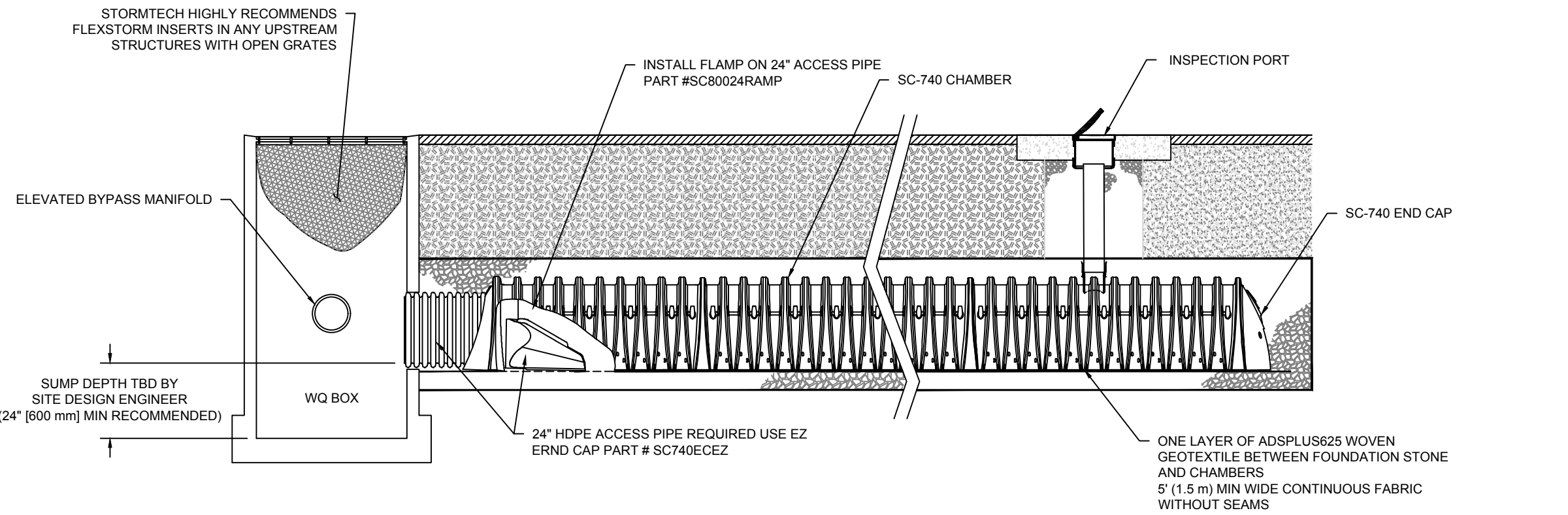
TYPICAL TRENCH INSTALLATION DETAIL
NOT TO SCALE

NOTE:

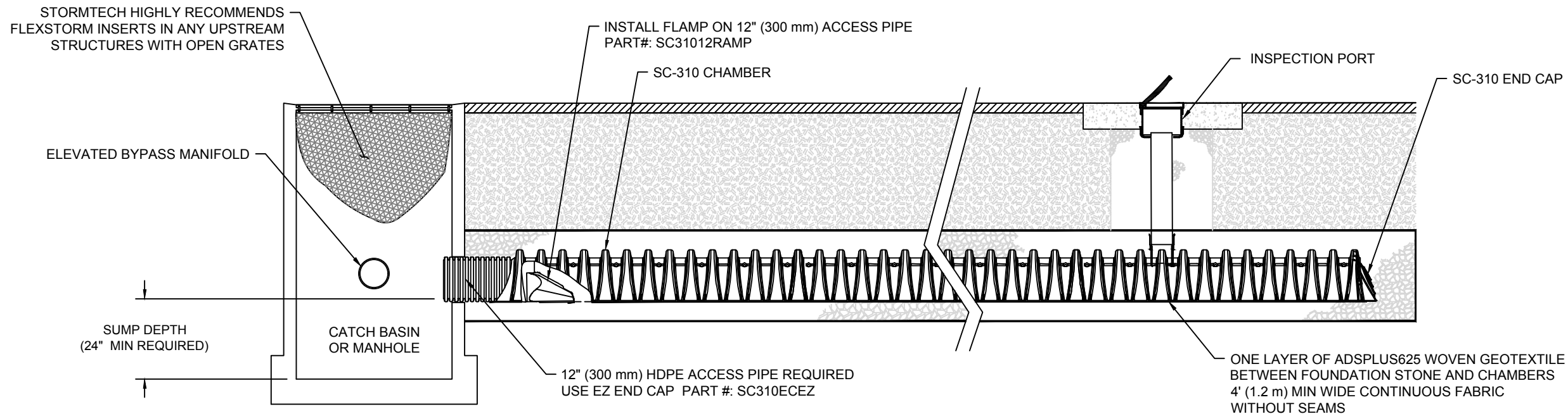
24-INCH COVER OVER THE CROWN OF THE PIPE IS PREFERRED, ADS N-12 HDPE PIPE MINIMUM COVER REQUIREMENTS (PER ASTM F2648) WITH AASHTO H-25 OR HS-25 LOAD FOR INSIDE DIAMETER OF 4" TO 48" MIN. COVER MAY BE REDUCED TO 12" (1-FOOT) OVER THE CROWN OF THE PIPE.

MATERIAL LOCATION	SPECIFICATION	COMPACTION
A FOUNDATION STONE	WASHED, CLEAN, ANGULAR STONE 3/4" TO 2"	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE
B EMBEDMENT STONE	WASHED, CLEAN, ANGULAR STONE 3/4" TO 2"	PLACE EVENLY IN 6" LIFTS, WALK INTO PLACE
C BITUMINOUS PAVEMENT SUBGRADE	GRAVEL BURROW, RDOT TYPE 1A OR 1B	MIN. 95% MAX. DENSITY AS DETERMINED BY MOD. PROCTOR

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 AND SC-740 CHAMBER SYSTEMS



SC-740 ISOLATOR ROW PLUS DETAIL
NOT TO SCALE



SC-310 ISOLATOR ROW PLUS DETAIL
NOT TO SCALE

OWNER:
STEPHEN T. JURCZYK
P.O. BOX 434
COVENTRY, RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401) 732-9300

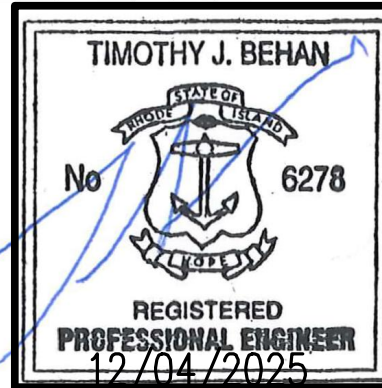
APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

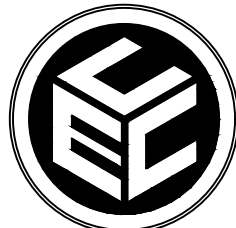
- ☐ CONCEPT
- ☐ CUSTOMER APPROVAL
- ☒ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



REVISIONS

No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
3	09-02-25	SMA	TJB
4	09-11-25	SMA	TJB
5	11-07-25	SMA	TJB
6	12-04-25	SMA	TJB



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT

FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-5

SCALE:	AS SHOWN	SHEET NO: 17 OF 20
DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB
DATE: MARCH 27, 2025	PROJECT NO.: 25024.00	



NOTE:

1. SYSTEM DIMENSION: 17.86(L)X 20.5(W)X 3.5'(H)
2. 4 ROWS OF 2 SC-740 CHAMBERS
3. 1-ROW INSTALLED AS AN ISOLATION ROW
4. 6" OF STONE BELOW THE CHAMBERS
5. 6" SPACING BETWEEN CHAMBERS
6. ESHGW ELEV.=246.0±



NOTE:

1. SYSTEM DIMENSION: 53.46(L)X 34.75(W)X 3.5'(H)
2. 7 ROWS OF 7 SC-740 CHAMBERS
3. 1-ROW INSTALLED AS AN ISOLATION ROW
4. 6" OF STONE BELOW THE CHAMBERS
5. 6" SPACING BETWEEN CHAMBERS
6. ESHGWT ELEV.=241.0±



NOTE:

1. SYSTEM DIMENSION: 17.86(L)X 49.00(W)X 3.5'(H)
2. 10 ROWS OF 2 SC-740 CHAMBERS
3. 1-ROW INSTALLED AS AN ISOLATION ROW
4. 6" OF STONE BELOW THE CHAMBERS
5. 6" SPACING BETWEEN CHAMBERS
6. ESHGWT ELEV.=238.5±



OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

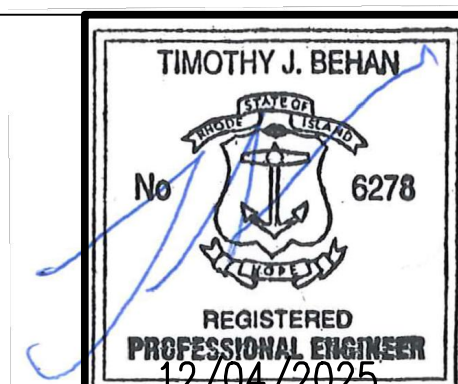
APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

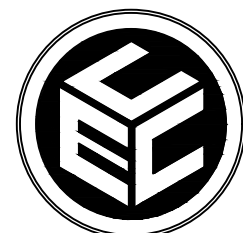
☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



REVISIONS

No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
3	09-02-25	SMA	TJB
4	09-11-25	SMA	TJB
5	11-07-25	SMA	TJB
6	12-04-25	SMA	TJB



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PRELIMINARY PLAN APPLICATION COMPREHENSIVE PERMIT

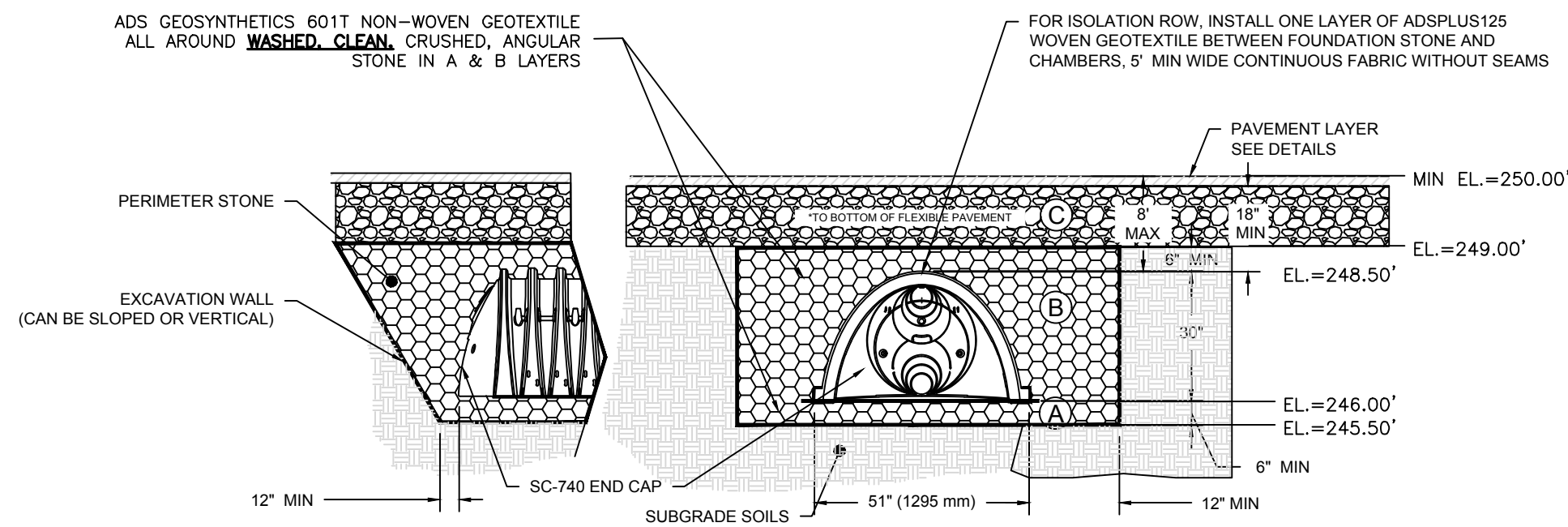
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND

CONSTRUCTION DETAILS-6

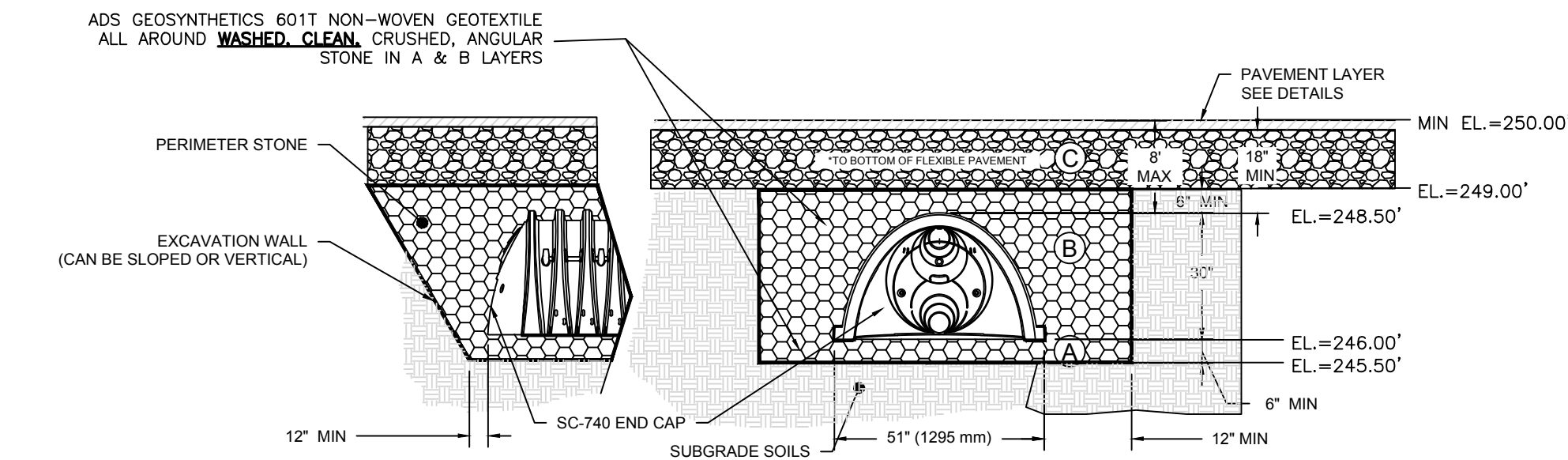
SCALE: AS SHOWN	SHEET NO: 18 OF 20
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DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB
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DATE: MARCH 27, 2025	PROJECT NO.: 25024.00
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BMP-4: STORMTECH SC-740 ISOLATION CHAMBERS CROSS SECTION
NOT TO SCALE

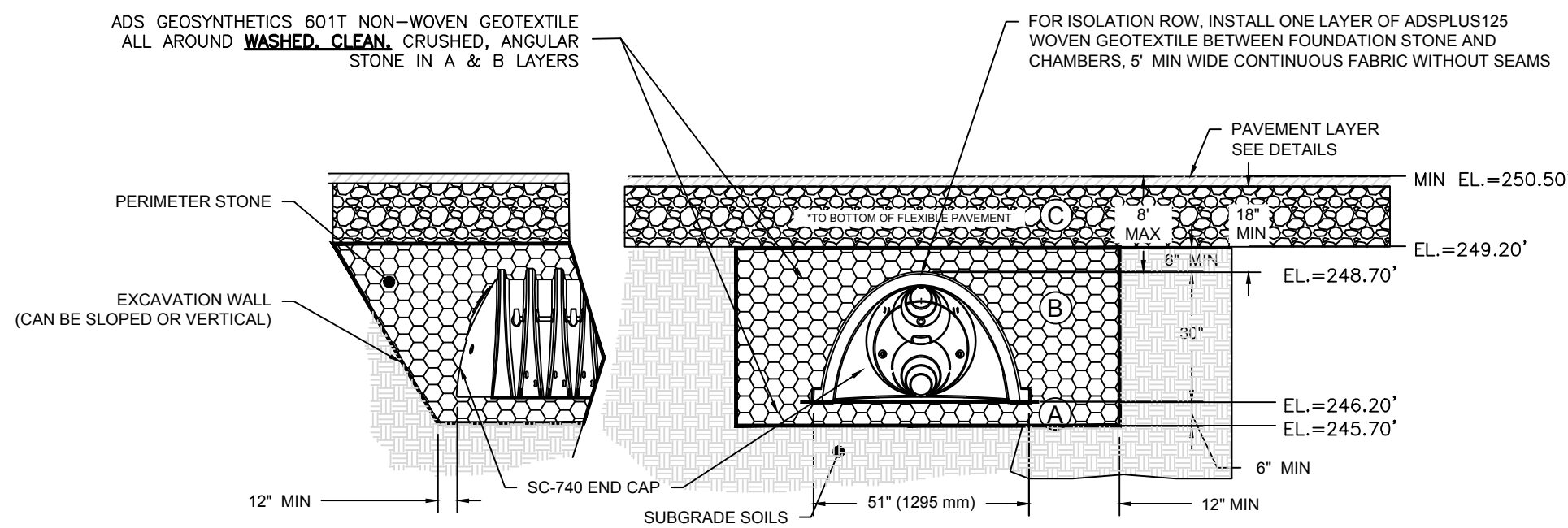
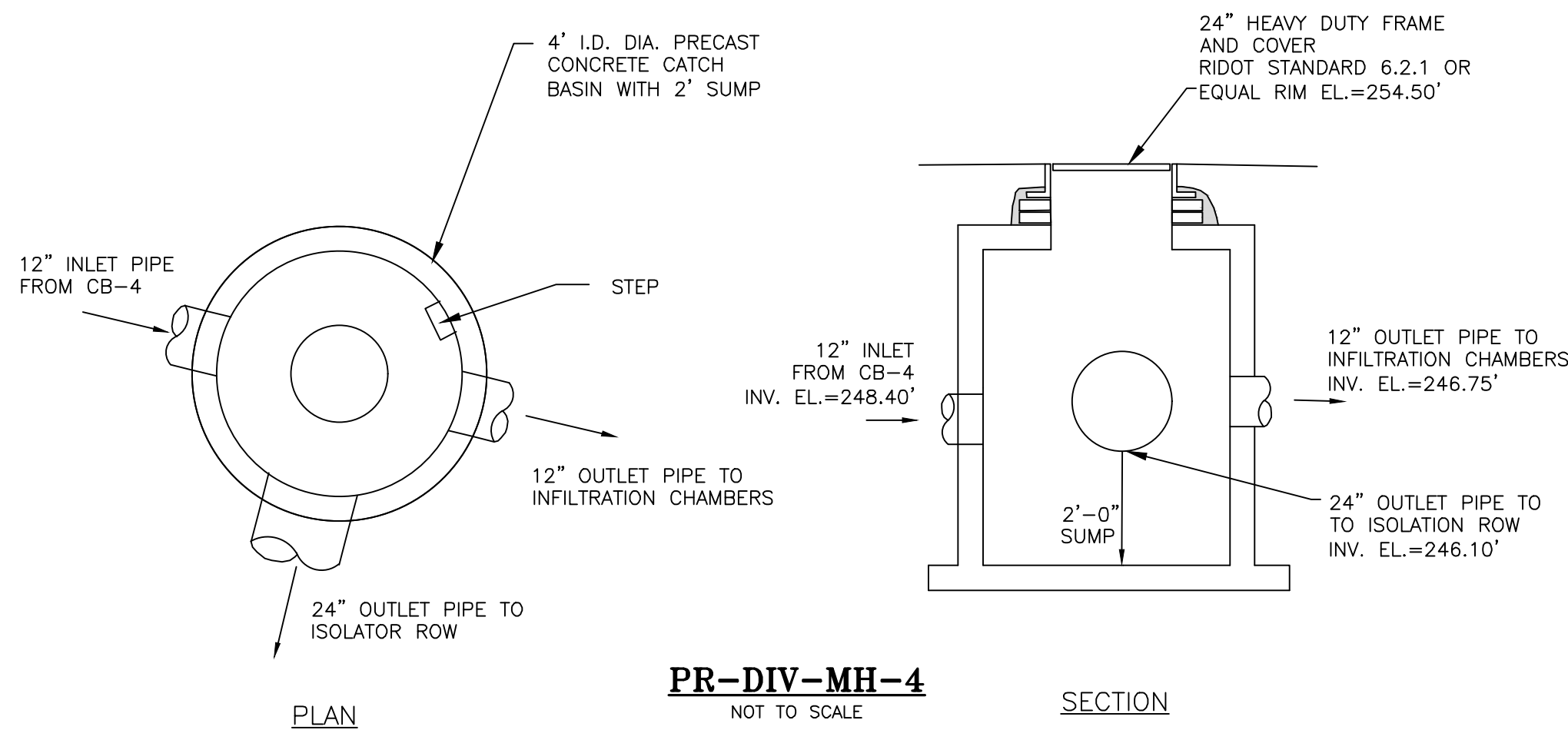


BMP-4: STORMTECH SC-740 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

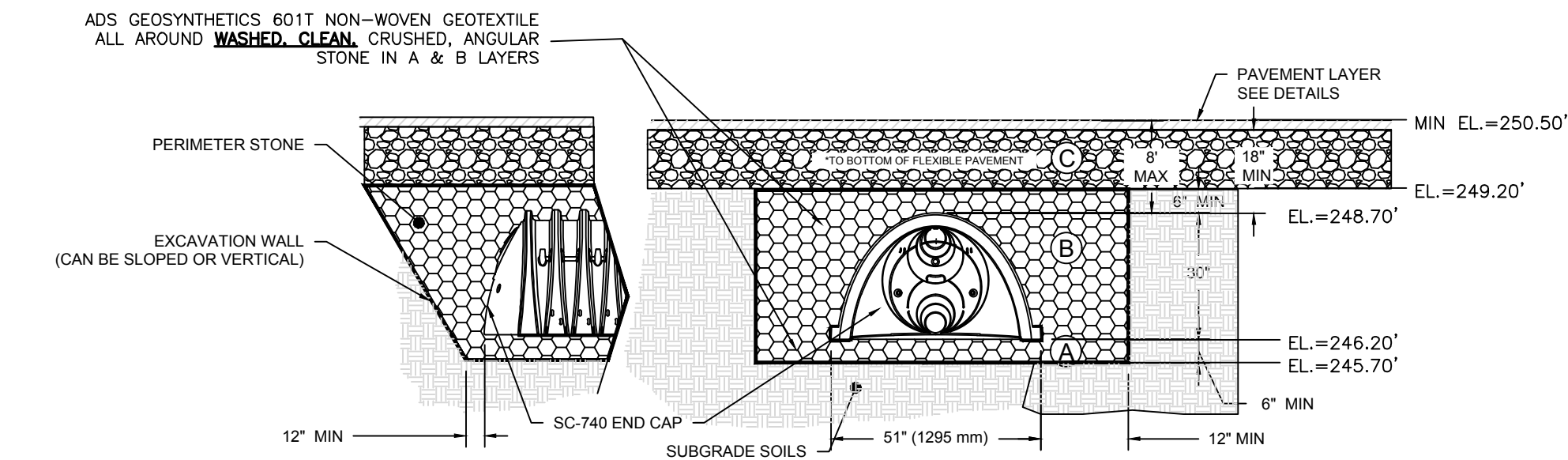
BMP-4 WATER LEVELS

- NOTE:
1. SYSTEM DIMENSION: 53.46(L)X 15.75(W)X 3.5'(H)
 2. 3 ROWS OF 7 SC-740 CHAMBERS
 3. 1-RW INSTALLED AS AN ISOLATION ROW
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=240.5±

WQ=245.51'
1-YR=245.52'
10-YR=246.35'
25-YR=247.01'
100-YR=248.91'



BMP-5: STORMTECH SC-740 ISOLATION CHAMBERS CROSS SECTION
NOT TO SCALE

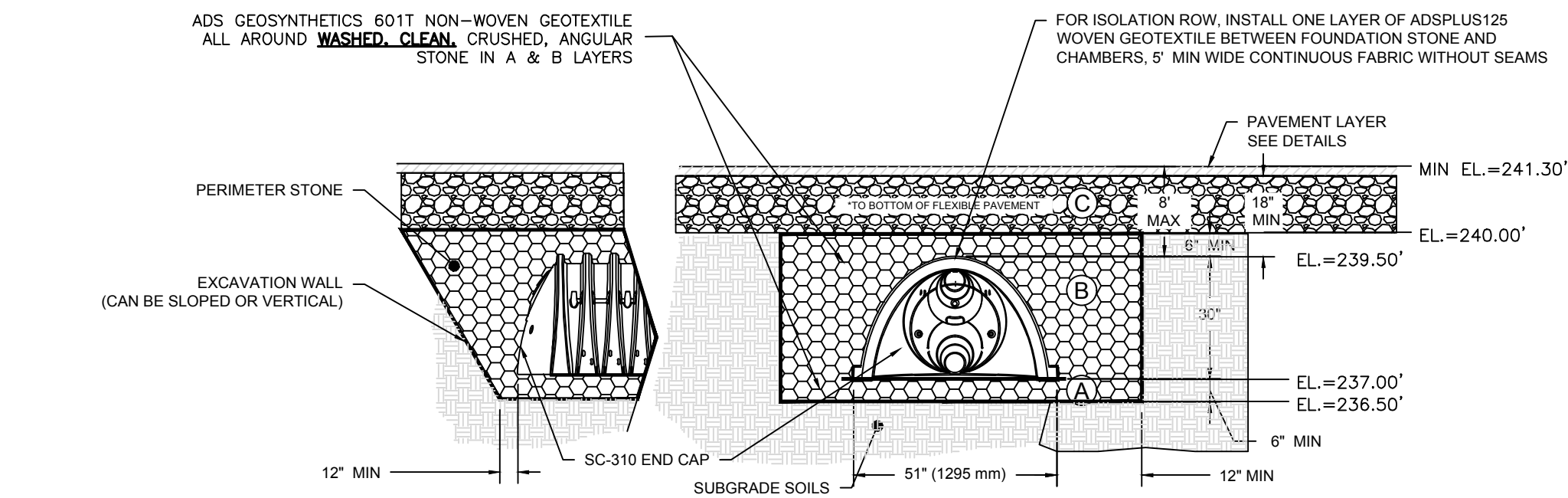
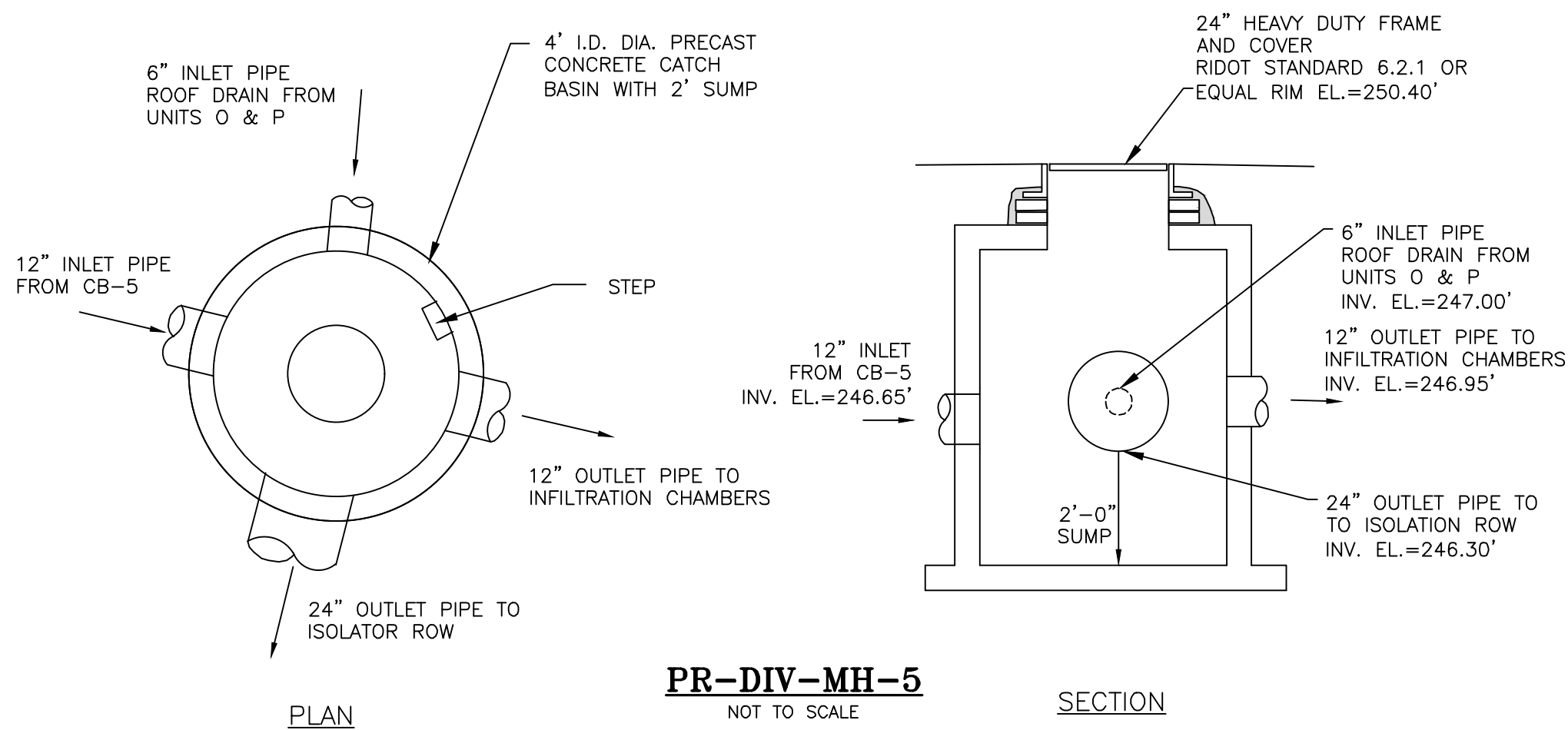


BMP-5: STORMTECH SC-740 INFILTRATION CHAMBERS CROSS SECTION
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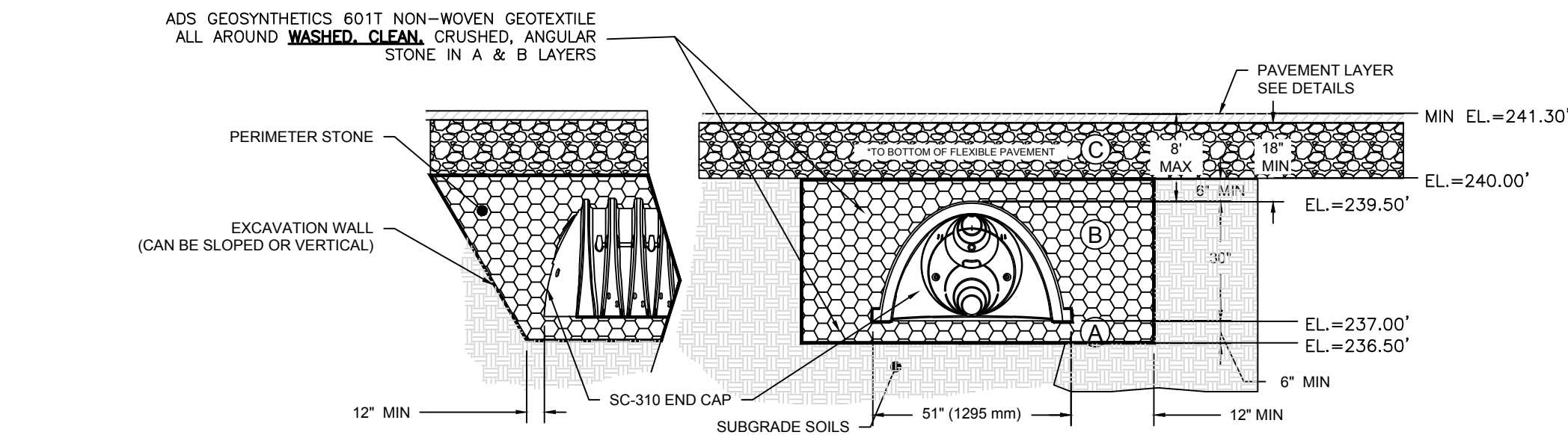
BMP-5 WATER LEVELS

- NOTE:
1. SYSTEM DIMENSION: 46.35(L)X 20.50(W)X 3.5'(H)
 2. 4 ROWS OF 6 SC-740 CHAMBERS
 3. 1-RW INSTALLED AS AN ISOLATION ROW
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=241.7±

WQ=246.21'
1-YR=246.21'
10-YR=247.03'
25-YR=247.70'
100-YR=249.62'



BMP-6: STORMTECH SC-310 ISOLATION CHAMBERS CROSS SECTION
NOT TO SCALE

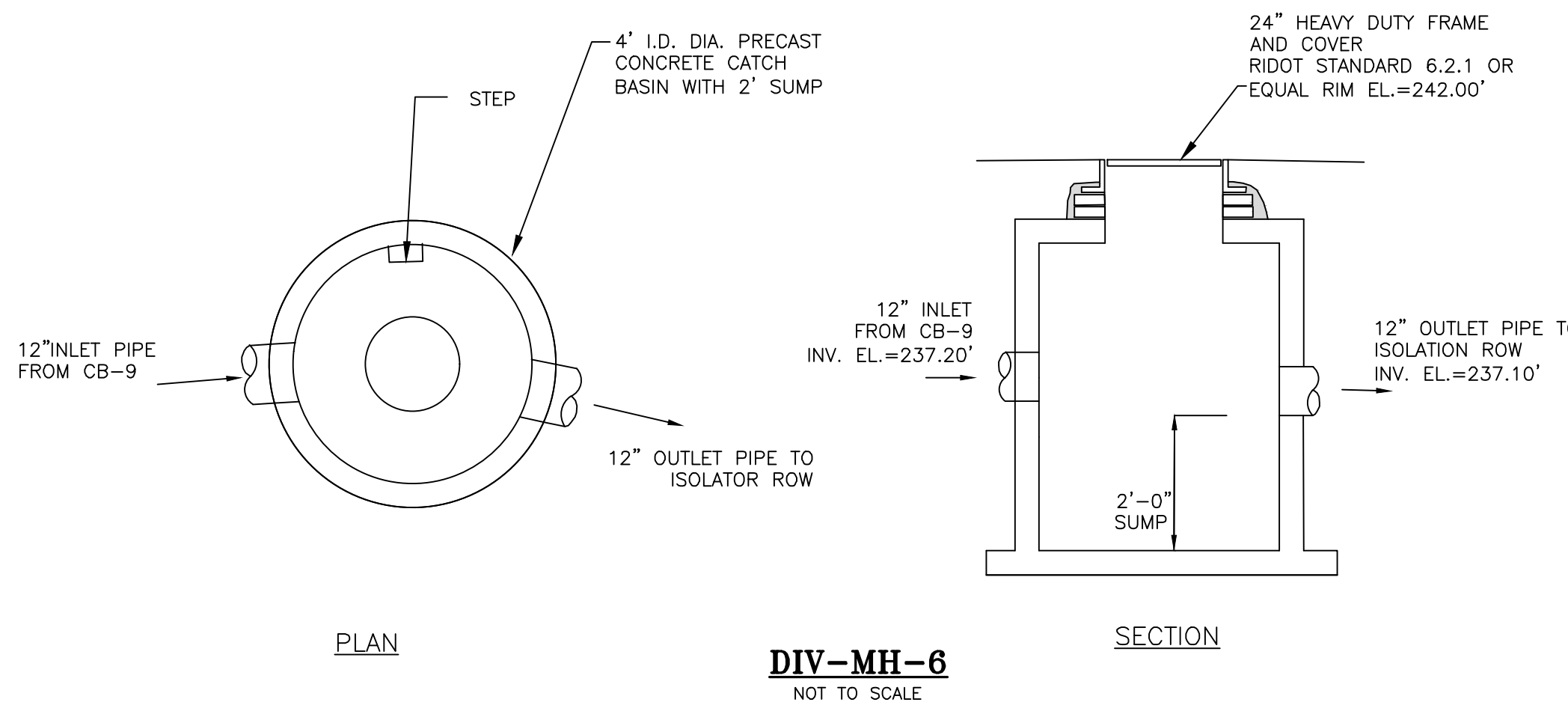


BMP-6: STORMTECH SC-310 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-6 WATER LEVELS

- NOTE:
1. SYSTEM DIMENSION: 10.32(L)X 11.50(W)X 2.33'(H)
 2. 3 ROWS OF 1 SC-310 CHAMBERS
 3. 1-RW INSTALLED AS AN ISOLATION ROW
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=232.5±

WQ=236.63'
1-YR=238.76'
10-YR=238.78'
25-YR=238.79'
100-YR=238.81'



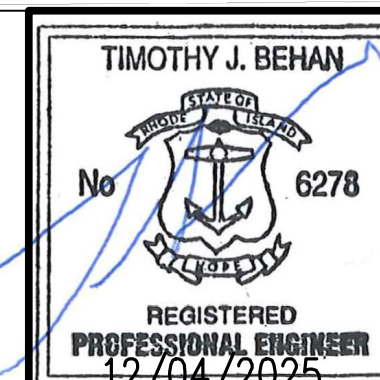
OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
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57 PINE RIDGE DRIVE
CRANSTON, RI 02921
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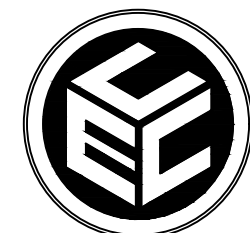
LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR
CONSTRUCTION SHALL BE USED FOR
CONSTRUCTION



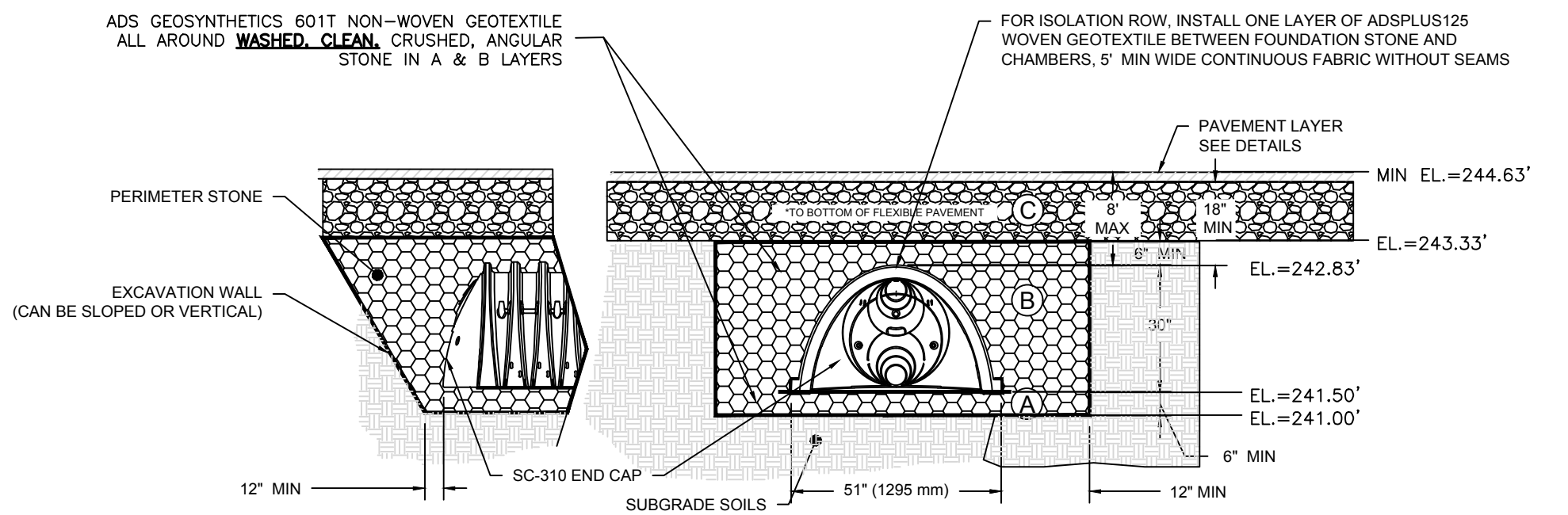
REVISIONS			
No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
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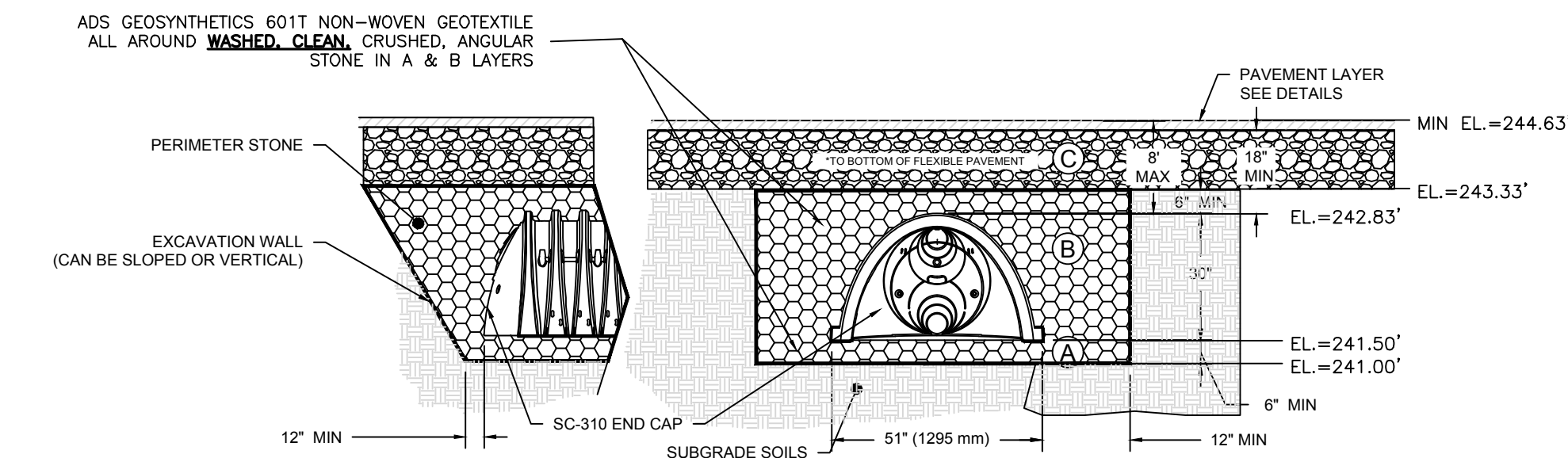
COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

**PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-7**

SCALE: AS SHOWN		SHEET NO: 19 OF 20	
DRAWN BY: SMA	DESIGN BY: SMA		CHECKED BY: TJB
DATE: MARCH 27, 2025		PROJECT NO.: 25024.00	



BMP-7: STORMTECH SC-310 ISOLATION CHAMBERS CROSS SECTION
NOT TO SCALE

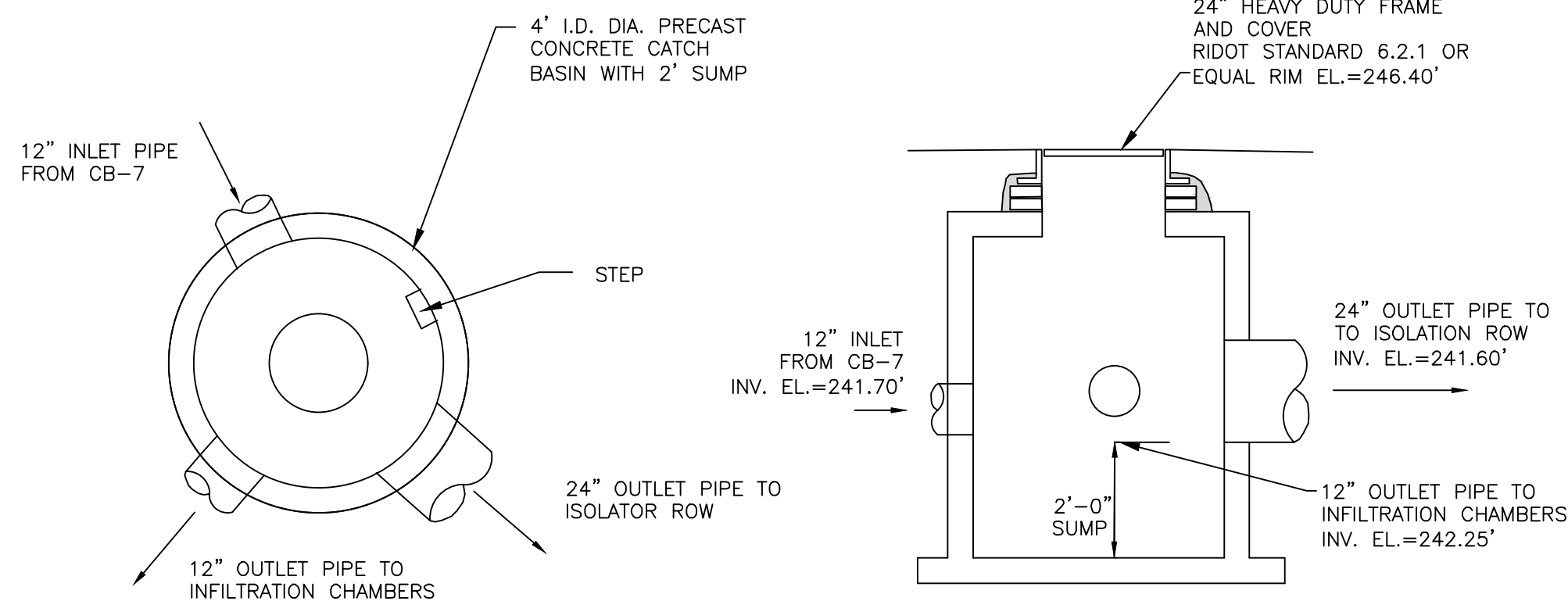


BMP-7: STORMTECH SC-310 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-7 WATER LEVELS

- NOTE:
1. SYSTEM DIMENSION: 24.56(L)X 11.50(W)X 3.5'(H)
 2. 3 ROWS OF 3 SC-310 CHAMBERS
 3. 1-ROW INSTALLED AS AN ISOLATION ROW
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=237.0±

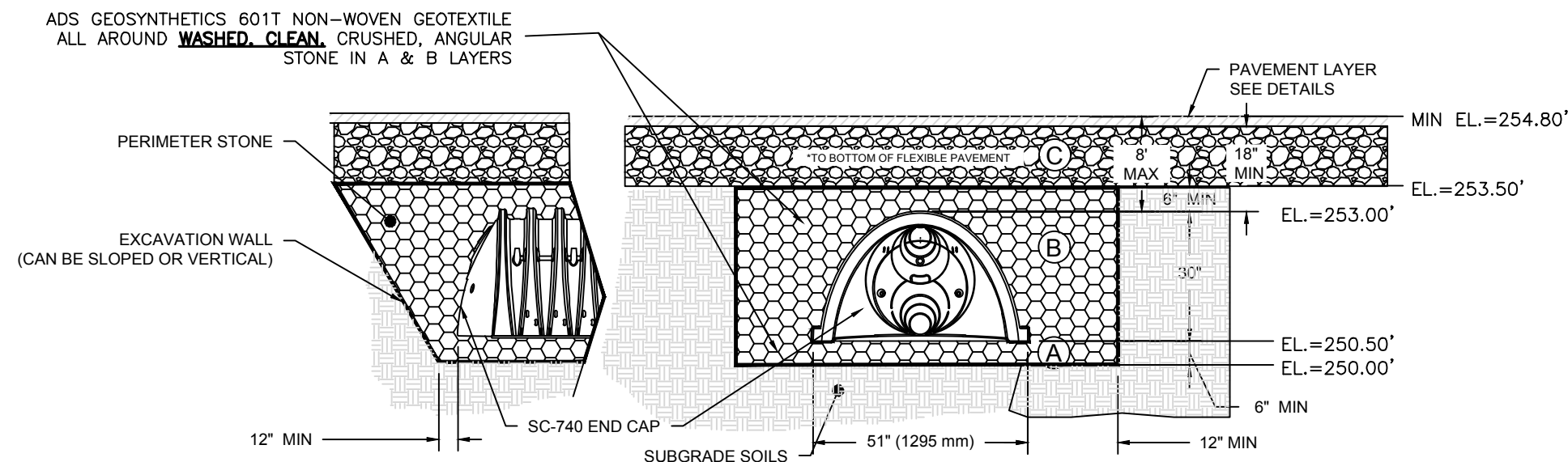
WQ=241.01'
1-YR=241.01'
10-YR=241.97'
25-YR=243.26'
100-YR=243.29'



PR-DIV-MH-7
NOT TO SCALE

PLAN

SECTION

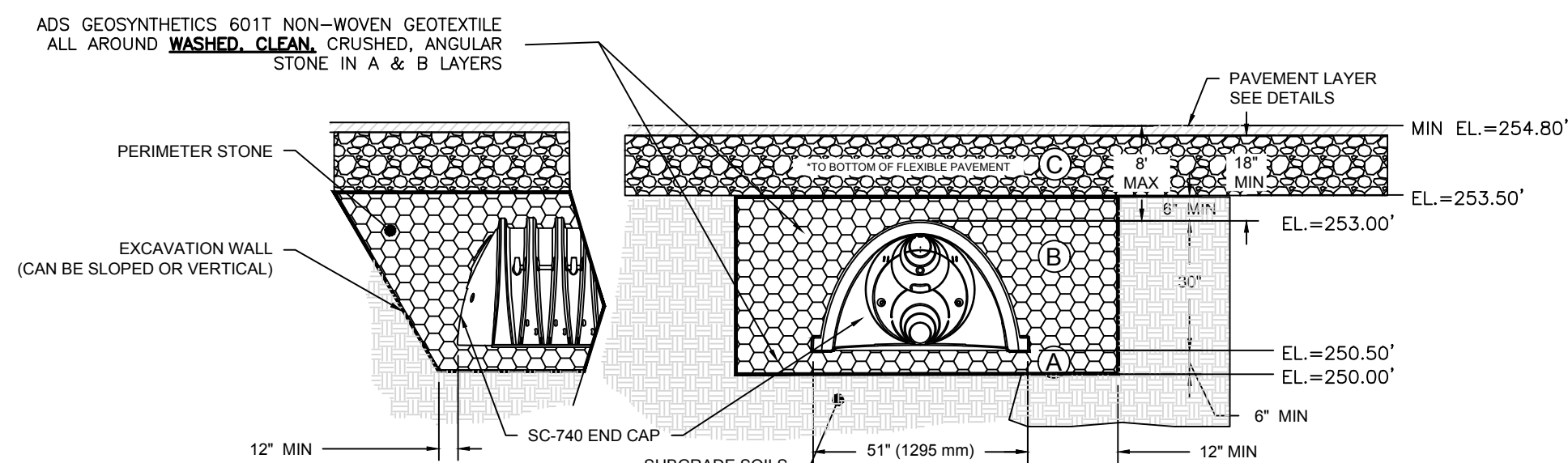


BMP-8A: STORMTECH SC-740 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-8A WATER LEVELS

- NOTE:
1. SYSTEM FOR ROOF RUNOFF ONLY.
 2. SYSTEM DIMENSION: 10.75(L)X 22.50(W)X 3.5'(H)
 3. 1 ROWS OF 6 SC-740 CHAMBERS
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=244.0±

WQ=250.01'
1-YR=250.39'
10-YR=251.01'
25-YR=251.50'
100-YR=252.56'

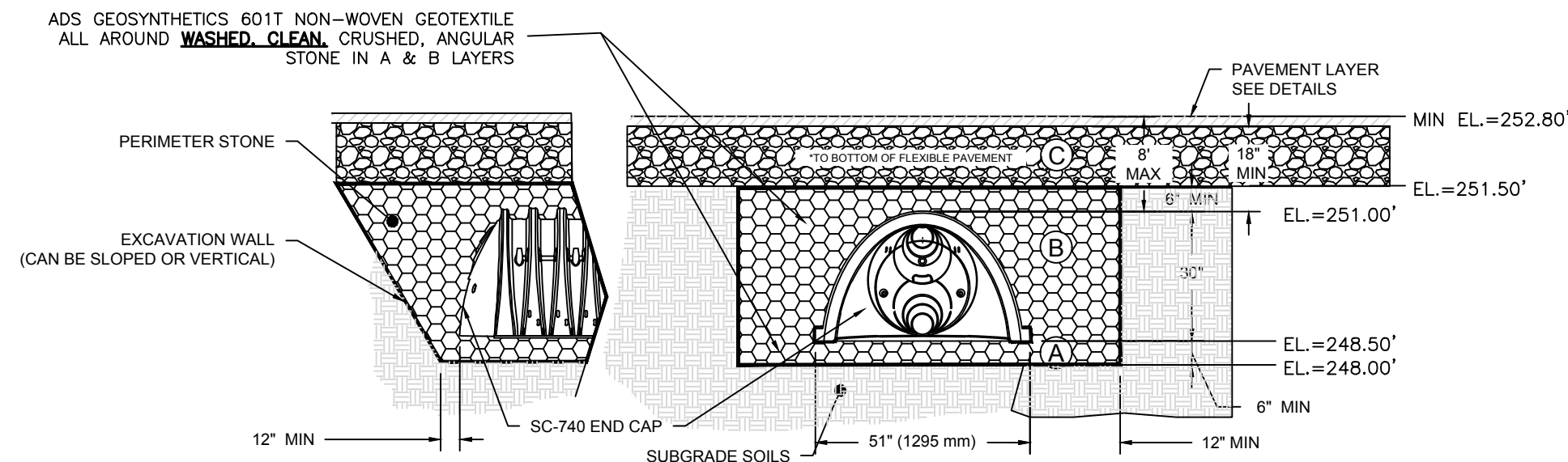


BMP-8B: STORMTECH SC-740 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-8B WATER LEVELS

- NOTE:
1. SYSTEM FOR ROOF RUNOFF ONLY.
 2. SYSTEM DIMENSION: 10.75(L)X 22.50(W)X 3.5'(H)
 3. 1 ROWS OF 6 SC-740 CHAMBERS
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=244.0±

WQ=250.01'
1-YR=250.39'
10-YR=251.01'
25-YR=251.50'
100-YR=252.56'

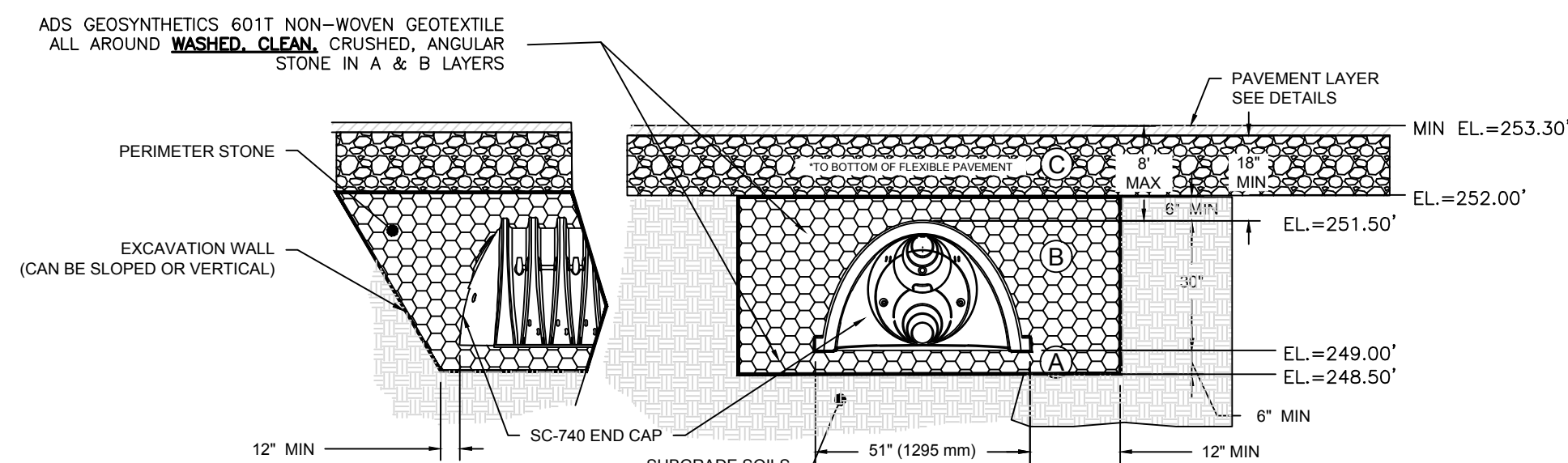


BMP-9A: STORMTECH SC-740 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-9A WATER LEVELS

- NOTE:
1. SYSTEM FOR ROOF RUNOFF ONLY.
 2. SYSTEM DIMENSION: 10.75(L)X 22.50(W)X 3.5'(H)
 3. 1 ROWS OF 6 SC-740 CHAMBERS
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=242.0±

WQ=248.01'
1-YR=248.39'
10-YR=249.01'
25-YR=249.50'
100-YR=250.56'



BMP-9B: STORMTECH SC-740 INFILTRATION CHAMBERS CROSS SECTION
NOT TO SCALE

BMP-9B WATER LEVELS

- NOTE:
1. SYSTEM FOR ROOF RUNOFF ONLY.
 2. SYSTEM DIMENSION: 10.75(L)X 22.50(W)X 3.5'(H)
 3. 1 ROWS OF 6 SC-740 CHAMBERS
 4. 6" OF STONE BELOW THE CHAMBERS
 5. 6" SPACING BETWEEN CHAMBERS
 6. ESHGWT ELEV.=242.0±

WQ=248.51'
1-YR=248.89'
10-YR=249.51'
25-YR=250.00'
100-YR=251.06'

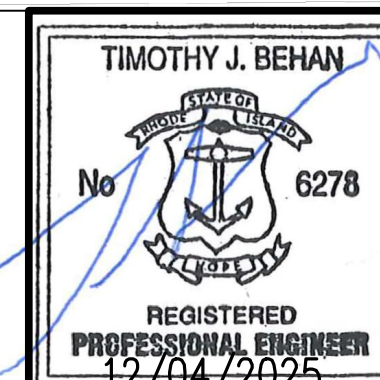
OWNER:
STEPHEN T. JURCZYK
PO BOX 434
COVENTRY RI 02816
ATTORNEY REPRESENTING OWNER:
ROBERT COLAGIOVANNI, ESQ.
PHONE: (401)732-9300

APPLICANT:
BOULDER HILL DEVELOPMENT, LLC
PATRICK CZERWIEN, MANAGER
57 PINE RIDGE DRIVE
CRANSTON, RI 02921
PHONE: (401) 413-5648

LEGAL COUNCIL:
MR. THOMAS CRONIN ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816-5707
PHONE: (401) 828-5800

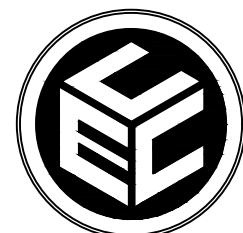
DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR
CONSTRUCTION SHALL BE USED FOR
CONSTRUCTION



REVISIONS

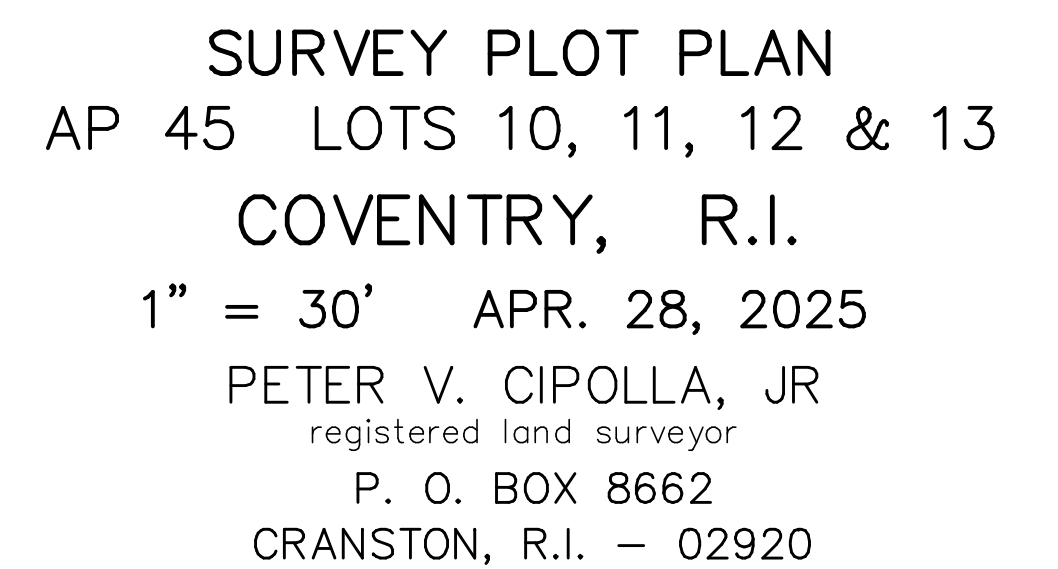
No.	DATE	DRWN	CHKD
1	07-29-25	SMA	TJB
2	07-31-25	SMA	TJB
3	09-02-25	SMA	TJB
4	09-11-25	SMA	TJB
5	11-07-25	SMA	TJB
6	12-04-25	SMA	TJB

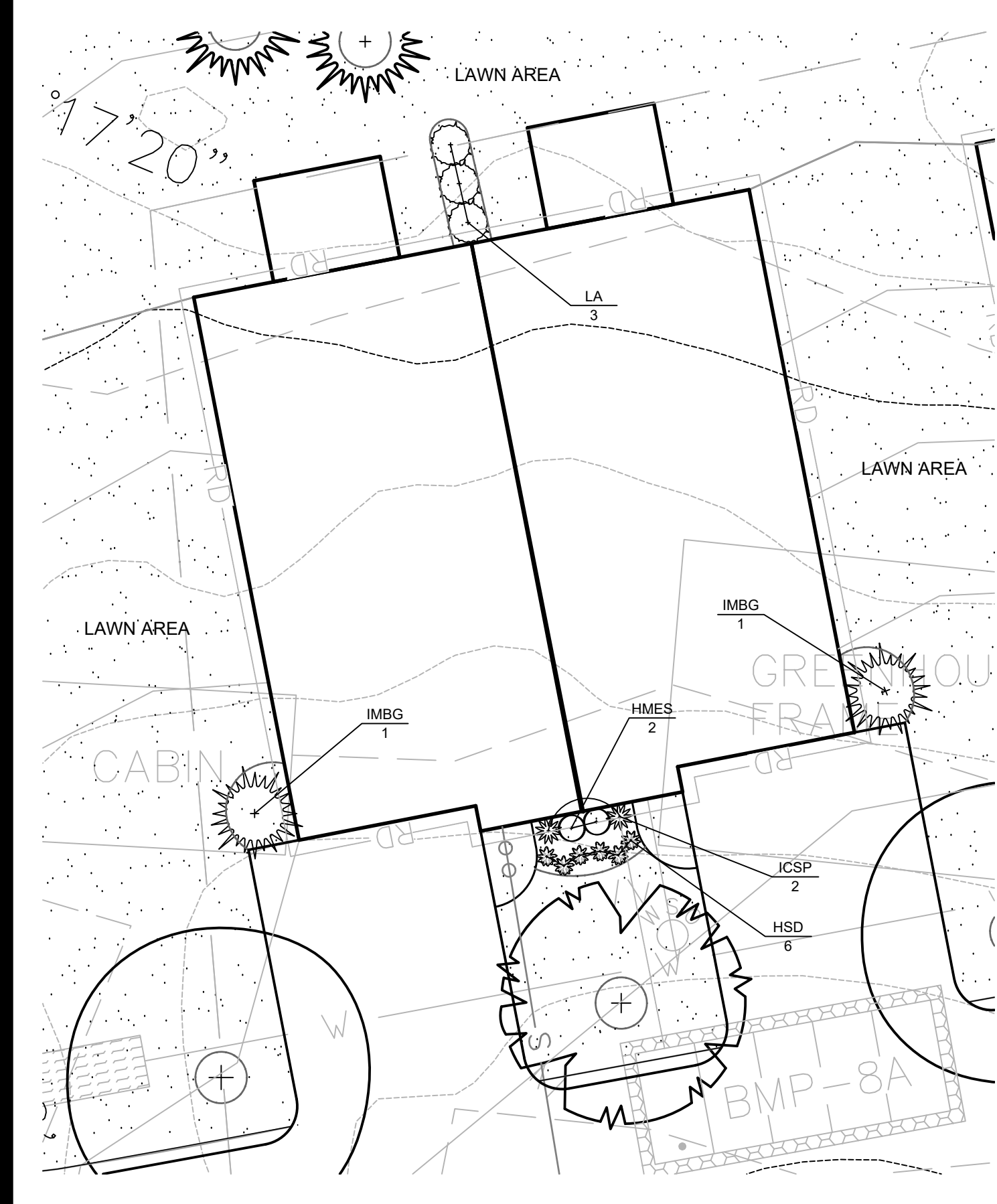


COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

**PRELIMINARY PLAN APPLICATION
COMPREHENSIVE PERMIT
FOR
SIENA CONDOMINIUMS
A.P. 45 LOTS 10, 11, 12 & 13
MAIN STREET
COVENTRY, RHODE ISLAND
CONSTRUCTION DETAILS-8**

SCALE: AS SHOWN SHEET NO: 20 OF 20
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: MARCH 27, 2025 PROJECT NO.: 25024.00



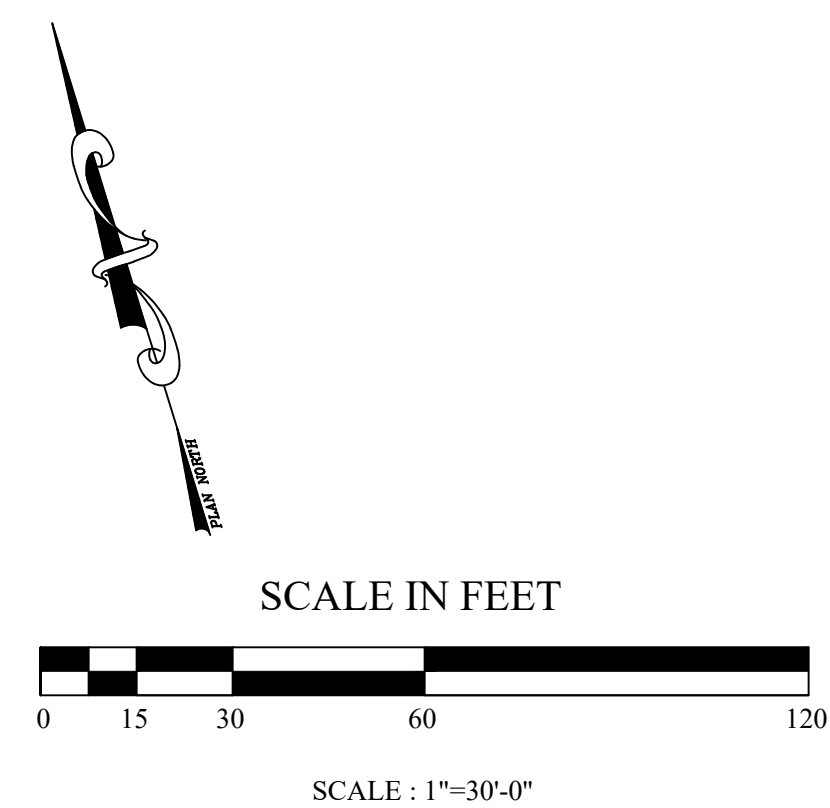


ENLARGED TYPICAL UNIT PLANTING DESIGN:
SCALE: 1"=10'-0"

PLANTING NOTES:

1. SEE SHEET L-2 FOR PLANTING DETAILS AND NOTES.
2. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" SHREDDED BARK MULCH. SUBMIT SAMPLES TO OWNER PRIOR TO INSTALLATION.
3. IN CASES OF DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANTING SCHEDULE AND QUANTITIES INDICATED ON THE PLAN, QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
4. ALL COMPACTED SUBBASE SHALL BE SCARIFIED TO A MINIMUM OF 6" PRIOR TO INSTALLATION OF LOAM FOR FINE GRADING FOR ALL LAWN AREAS AND PLANTING BEDS.
5. THE CONTRACTOR SHALL COORDINATE ALL SITE UTILITY WORK WITH TREE AND PLANT LOCATION SHOWN ON THIS PLAN.
6. THE CONTRACTOR SHALL CONTACT AND NOTIFY DIG-SAFE PRIOR TO COMMENCEMENT OF PROJECT TO CONFIRM ALL EXISTING AND PROPOSED SITE UTILITY LOCATIONS.
7. ALL PROPOSED PLANTINGS SHALL BE INSTALLED AT GRADE ACCORDING TO THE PLANTING DETAILS. NO EXCESSIVE MOUNDING AND DEEP BURIAL OF TREES AND SHRUBS WILL BE ALLOWED, PLANT ACCORDING TO THE PLANTING DETAILS.
8. CONTENTS OF THIS PLAN REFLECT PLANTING DESIGN ONLY. SEE CIVIL AND ARCHITECTURAL SHEETS FOR ADDITIONAL INFORMATION.

OVERALL PLANTING SCHEDULE									
TREES AND SHRUBS									
Key	Botanical Name Common Name	Qty.	Size	Notes	LA	Ligustrum amurense California privet	24	5 Gal.	Cont.
AFAB	Acer freemanii 'Autumn Blaze' Autumn Blaze Red Maple	8	2.5"-3" Cal.	B&B	LS	Liquidambar styraciflua Sweetgum	11	2.5"-3" Cal.	B&B
CCFP	Cercis canadensis 'Forest Pansy' Forest Pansy Redbud	3	2"-2.5" Cal.	B&B	PIO	Prunus incarn 'Okame' Okame Flowering Cherry	5	2"-2.5" Cal.	B&B
CJ	Cryptomeria japonica Japanese Cedar	8	6"-7"	B&B	PSK	Prunus serrulata 'Kwanzan' Kwanzan Flowering Cherry	6	2"-2.5" Cal.	B&B
HMES	Hydrangea macrophylla 'Endless Summer' Endless Summer Hydrangea	16	3 Gal.	Cont.	PS	Pinus strobus White Pine	12	5'-6"	B&B
HSD	Hemerocallis 'Stella D'Oro' Yellow Daylily	48	1 Gal.	Cont.	RKO	Rosa 'Red Knockout' Red Double Knockout Rose	6	3 Gal.	Cont.
ICS	Ilex crenata 'Sky Fencil' Sky Fencil Holly	16	5 Gal.	Cont.	TPGG	Thuja plicata 'Green Giant' Green Giant Arborvitae	41	5'-6"	B&B
IMBG	Ilex meserveae 'Blue Girl' Blue Girl Holly	3'-4'	16	B&B					
JCBP	Juniperus conferta 'Blue Pacific' Blue Pacific Juniper	5	3 Gal.	Cont.					



Not
Issued
For Construction

Revisions:	No.	Date:	Notes:



LANDSCAPE PLAN

Siena Condominiums

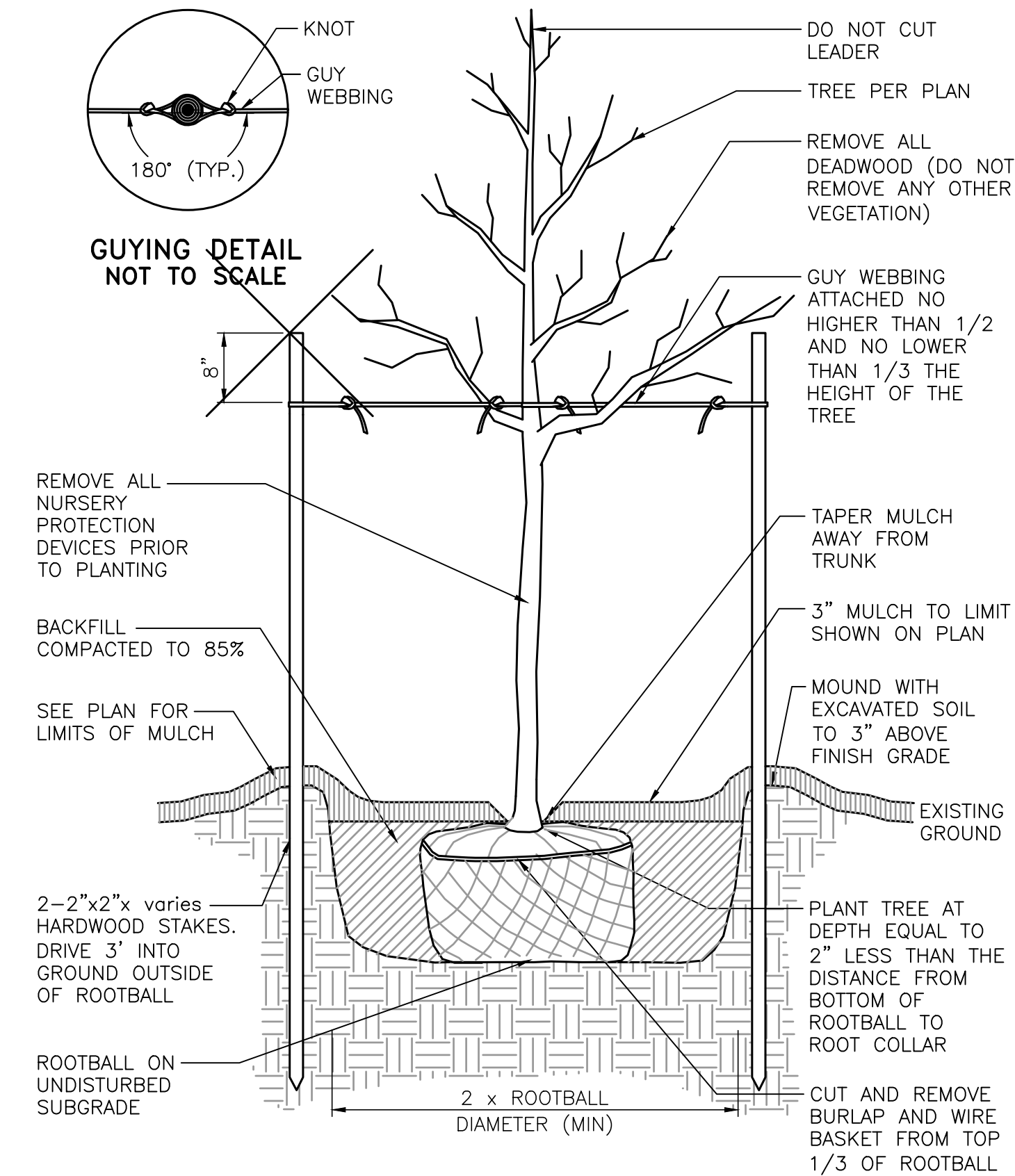
Assessor's Map 45, Lots 10, 11, 12 & 13 Main Street & Junczak
Coventry, Rhode Island

Job No: C-SienaCondos
Dwg. No: C-SienaCondos_Base.dwg
Drawn by: BMM
Checked by: BMM
Issue Date: 12/04/25

PERMITTING
DOCUMENTS

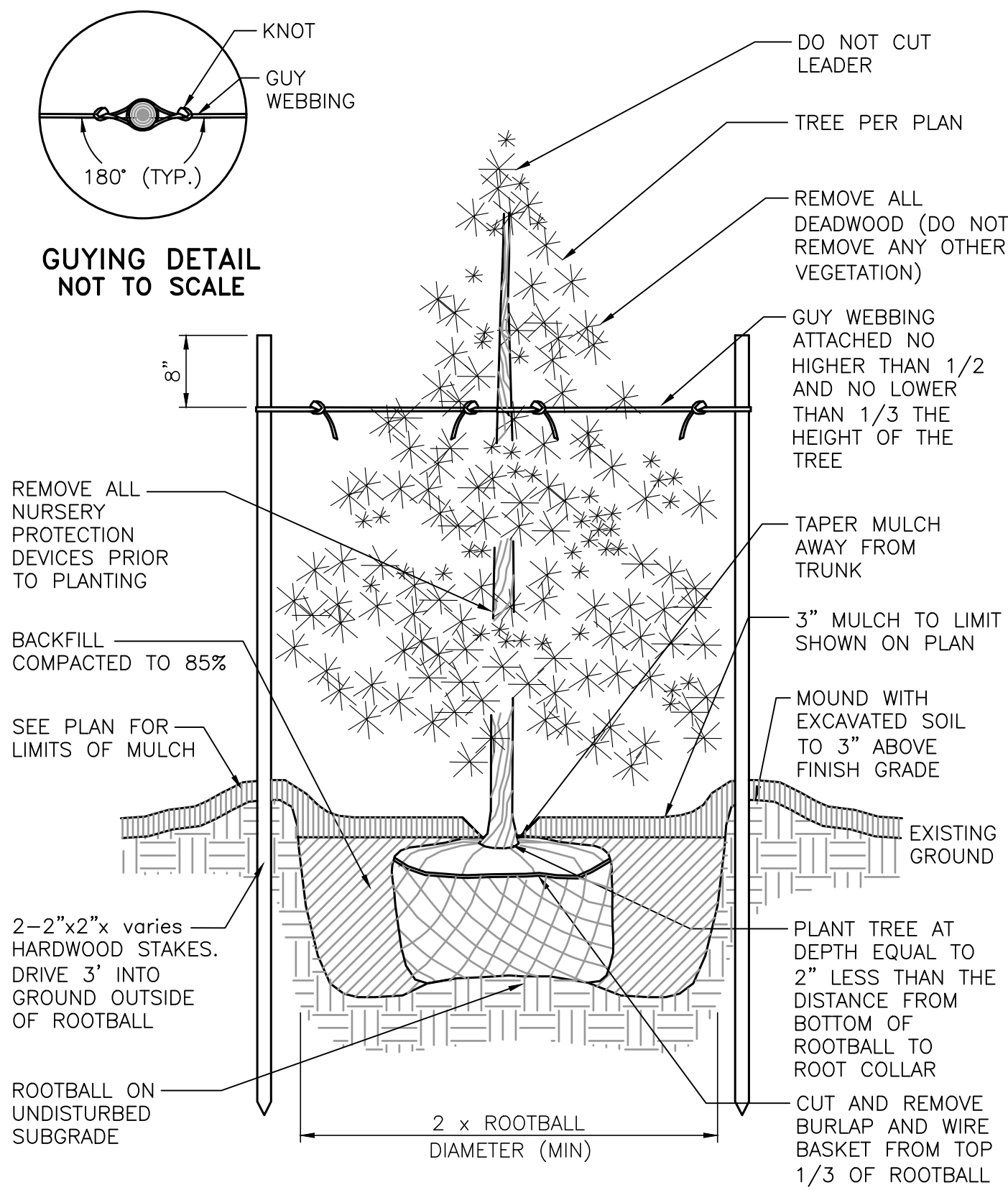
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Sheet 1 of 2



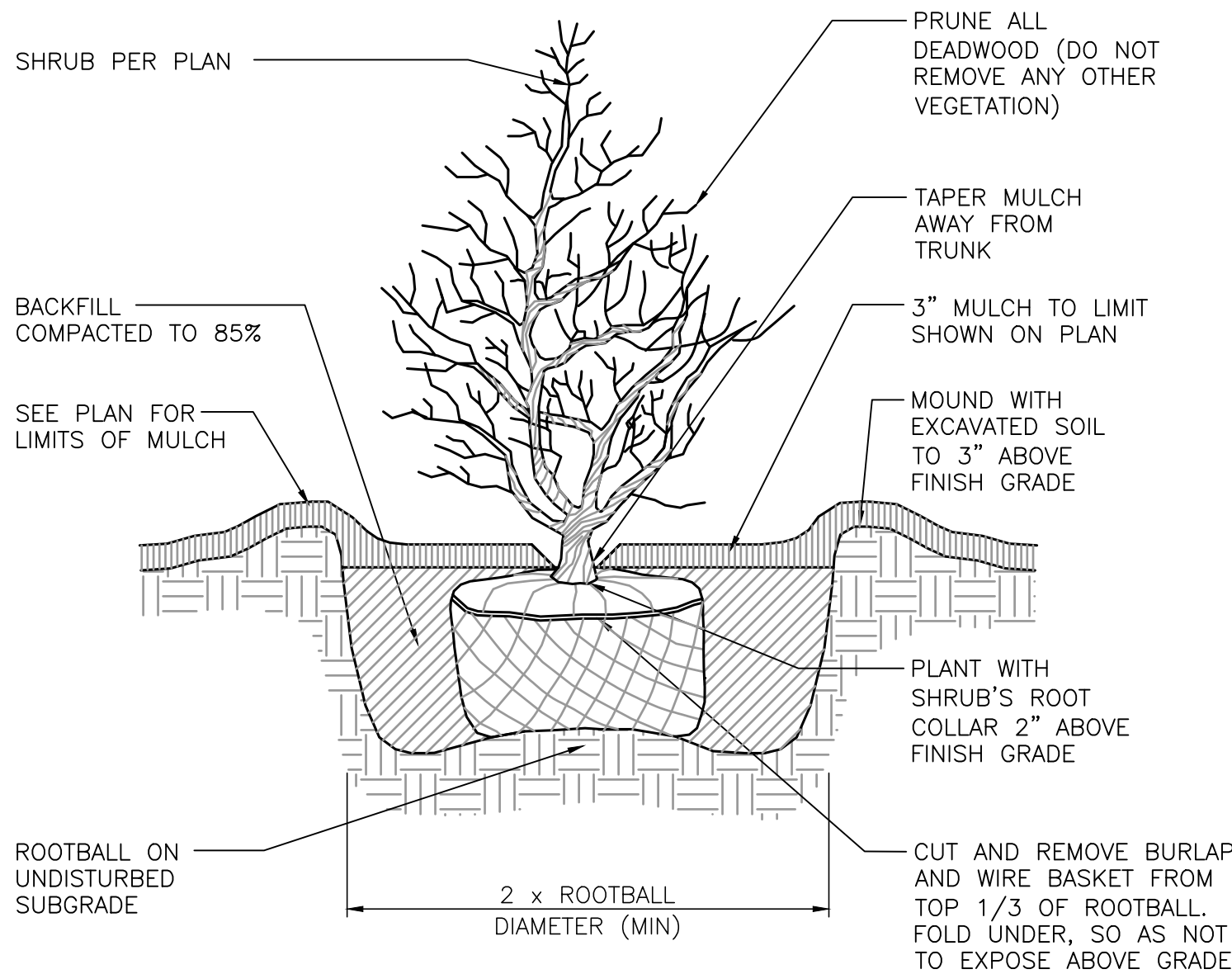
NOTE:
1. AFTER THE GUARANTEE PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUY WEBBING.

DECIDUOUS TREE STAKING AND PLANTING DETAIL NOT TO SCALE

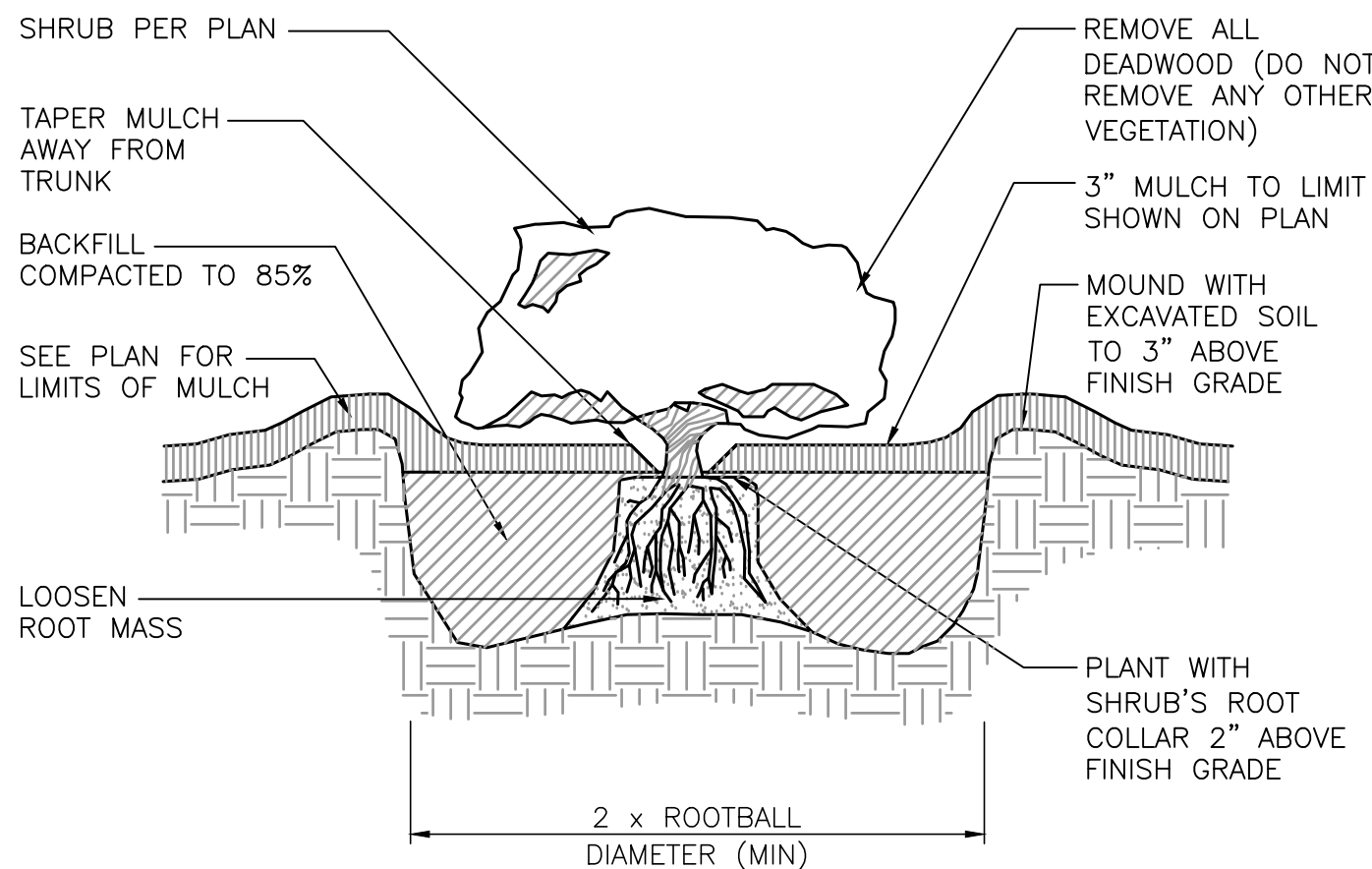


NOTE:
1. AFTER THE GUARANTEE PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUY WEBBING.

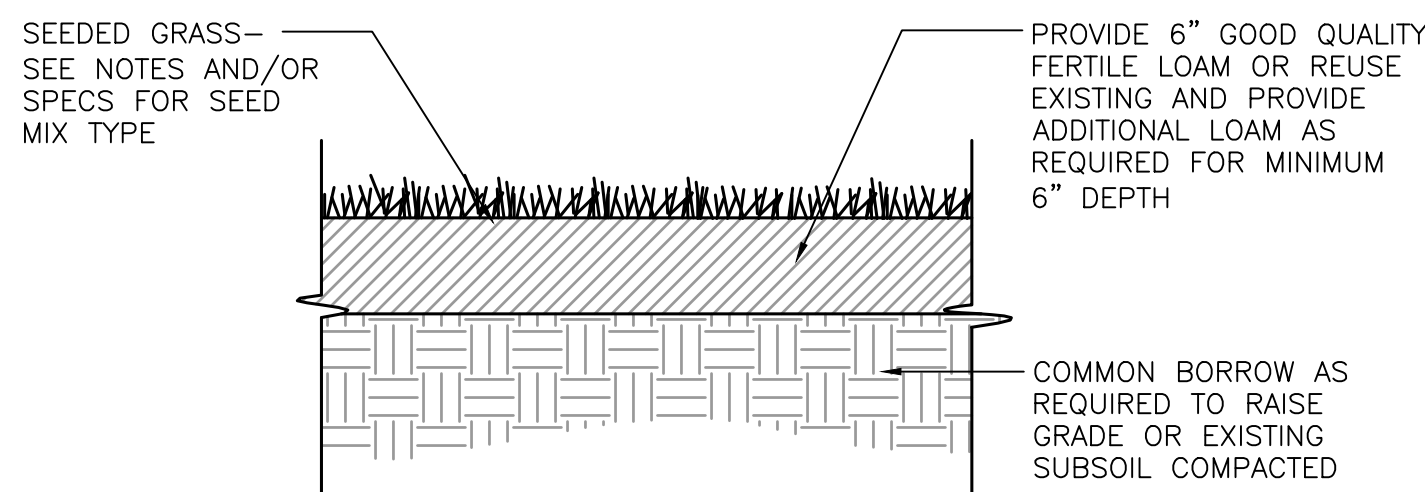
EVERGREEN TREE PLANTING DETAIL NOT TO SCALE



SHRUB PLANTING DETAIL NOT TO SCALE



CONTAINER GROWN TREE AND SHRUB PLANTING DETAIL NOT TO SCALE



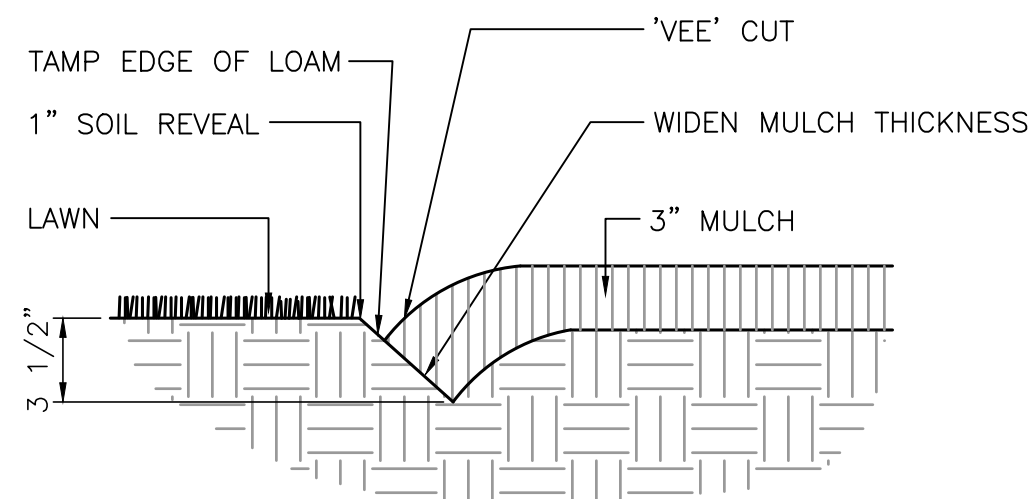
LOAM AND SEED DETAIL NOT TO SCALE

PLANTING NOTES:

1. All plant material must be tagged in the ground, at the nursery by the Landscape Architect. All plant material shall be commercially obtained and shall meet the American Association of Nurseryman standards for nursery stock, latest edition, and its amendments. Plant only during season normal to the particular variety. All plant inspections will be at the expense of the contractor. Permanent seals will be required.
2. Cover all planting beds with 3" shredded hardwood bark mulch within a seventy-two hour period after planting. See plan for bed layout.
3. All existing and proposed trees shown in lawn areas shall receive a 4' diameter mulch bed. Mulch shall be placed to a depth of 3". Remove all sod, roots, sticks and stones prior to placement of mulch.
4. All plant materials furnished by the contractor shall be guaranteed for a period of one year from final acceptance of landscape work.
5. Stake all trees over 5' as shown on details. Remove stakes at the end of the guarantee period.
6. The contractor is responsible for keeping the site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plans.
7. The contractor shall perform all work in accordance with all local, state, and federal regulations, and shall obtain all necessary permits for this project.
8. Layout: All notes and dimensions are typical unless otherwise noted. All dimensions are square (parallel or perpendicular) unless otherwise noted. The contractor shall notify the owner/owner's representative immediately in the event of any discrepancies found in the contract documents and/or in the field, or of conditions uncovered in the work which are not reflected in the plans.
9. Loam: Loam moved during the course of construction shall be retained and distributed within the site in accordance with the landscape plan. Stockpiled loam shall not be mixed with any subsoil or unsuitable materials. All excess loam shall remain on the property of the owner. New loam if required to provide the specified depth, shall be a fertile, friable medium textured sandy loam free of material toxic to healthy plant growth. Loam shall also be free of all stumps, roots, stones and other extraneous matter an inch (1") or greater in diameter. The PH shall be between 5.5 and 7.5 when tested.
10. Lawn Preparation: Remove all debris and other inorganic materials on the prepared subgrade, reshape and dress any damaged or eroded area prior to spreading the loam. Scarify and loosen subgrade in any areas where compaction may have occurred. Spread stockpiled and off-site loam on all disturbed areas to produce a depth of 6". Fine grade loamed areas to produce a smooth and unbroken finish grade to the required depth. Apply a starter fertilizer (10-20-10) at a rate of 20 lbs. per 1000 square feet and lime at a rate of 40 lbs. per 1000 square feet. Once spread, the fertilizer and lime shall be thoroughly incorporated into the loam. The loam shall be rolled, and depression shall be top dressed and raked to create a smooth surface.
11. Seeding: Seeding shall take place between March 15 and May 31 or August 15 and October 15 only. Seed shall be pure, live, fresh seed from commercial sources meeting and labeled in accordance with State and Federal rules and regulations. The seed mixture shall be:

Proportion by Type	Weight	Pur.	Germ.
Palmer Perennial Ryegrass	20.0%	99%	90%
Ranger Perennial Ryegrass	20.0%	99%	90%
Baron Kentucky Bluegrass	30.0%	95%	85%
Merion Kentucky Bluegrass	30.0%	95%	85%
Inert Materials	2.5% (maximum)		

Seeded areas shall, at a minimum, include all areas of the site that have been disturbed or are barren unless otherwise noted on the plans. Seed shall be applied at a rate of 7 lbs. per 1000 square feet.
12. Protection of Existing Plantings: Maximum effort should be made to save tree or other plant specimens which are large for their species, rare to the area, or of special horticultural or landscape value. Contact owner/landscape architect before removing any specimen of this type unless otherwise noted on the plans. No material or temporary soil deposits shall be placed within the drip line of shrubs or trees designated on the landscape plan to be retained. Protective barriers are to be installed around each plant and/or group of plants that are to remain on the site. Barriers shall not be supported by the plants they are protecting, but shall be self supporting. They shall be of minimum of four feet (4') high and constructed of a durable material, such as snow or silt fence, that will last until construction is completed.
13. Pruning: The contractor shall carefully prune branches in the way of construction by using only approved methods and tools. The use of axes for trimming or spurs for climbing will not be permitted.
14. Existing Utilities: In accordance with Dig-Safe law (1-800-225-4977), the contractor shall contact all applicable utility companies and verify utility line locations. The contractor shall be solely responsible for any/all utility damage. Record locations of Dig-Safe utility line markings on project record documents.
15. Disturbed Areas: Any areas disturbed during the course of construction are to be restored to original (or better) condition by contractor before completion of the project, and are subject to approval by landscape architect and owner. All grass areas disturbed during construction shall be yolk raked to remove stones and loamed and seeded as per specifications.
16. Drainage Systems: Contractor is responsible for general clean-out of all catch basins, manholes, and/or other drainage features on the site which have accumulated sediment as a result of construction activities.
17. Cleaning: Contractor is responsible for keeping site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plan.



NOTE: LOCATE BEDLINE AS SHOWN ON PLAN.

BEDLINE EDGE DETAIL NOT TO SCALE



Not Issued For Construction

Revisions: No. Date: Notes:

MDG
MUOJO DESIGN GROUP
LANDSCAPE ARCHITECTS

10715 Route Avenue, Cranston RI 02911
TEL: 401/441-9551 FAX: 401/441-9552 web: mdgdesigngroup.com

LANDSCAPE DETAILS PLAN

Sienna Condominiums

Assessor's Map 45, Lots 10, 11, 12 & 13 Main Street & Junczysk
Coventry, Rhode Island

Job No: C-SiennaCondos
Dwg. No: C-SiennaCondos_Base.dwg
Drawn by: BMM
Checked by: BMM
Issue Date: 12/04/25

PERMITTING DOCUMENTS

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Sheet 2 of 2

L-2